

REFERENCE: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

REFERENCE: GOOGLE MAPS

VICINITY MAP  
SCALE: 1" = 1000'

1  
1 OF 13

AERIAL MAP  
SCALE: NTS

2  
1 OF 13

# RIVENDALE SUBDIVISION 515 NEVERSINK DRIVE SECTION 50 BLOCK 1 LOT 38.22 TOWN OF DEERPARK ORANGE COUNTY, N.Y.

DRAWING LIST	
1 OF 14	TITLE SHEET
2 OF 14	EXISTING CONDITIONS
3 OF 14	PRELIMINARY PLAN
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5 OF 14	GRADING PLAN
6 OF 14	UTILITIES PLAN
7 OF 14	EROSION & SEDIMENTATION CONTROL PLAN
8 OF 14	STORMWATER MANAGEMENT PLAN
9 OF 14	LANDSCAPING PLAN
10 OF 14	ROADWAY & SEWER PROFILES
11 OF 14	ROADWAY PLAN & DETAILS
12 OF 14	SEPTIC PLAN
13 OF 14	SEPTIC DETAILS
14 OF 14	SITE DETAILS

PROJECT INFORMATION	
OWNER OF RECORD	LM PROPERTY HOLDINGS, LLC
ZONING	HM-U (HAMLET MIXED-USED DISTRICT)
TAX ID	SECTION 50 BLOCK 01 LOT 38.22
LOT AREA	1,872,209 S.F. / 42.98± ACRES

THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

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REVISIONS				
OWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	10/10/19	
DL	1	REVISED PER TOWN COMMENT	02/12/20	
DL	2	REVISED PER TOWN COMMENT	06/10/20	

*John D. Fuller*  
JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 858-1538

**JOHN D. FULLER, P.E., P.C.**

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: **TITLE SHEET** DWG NO.: **1 OF 14**  
SCALE: AS NOTED JOB NO.: 2177.030

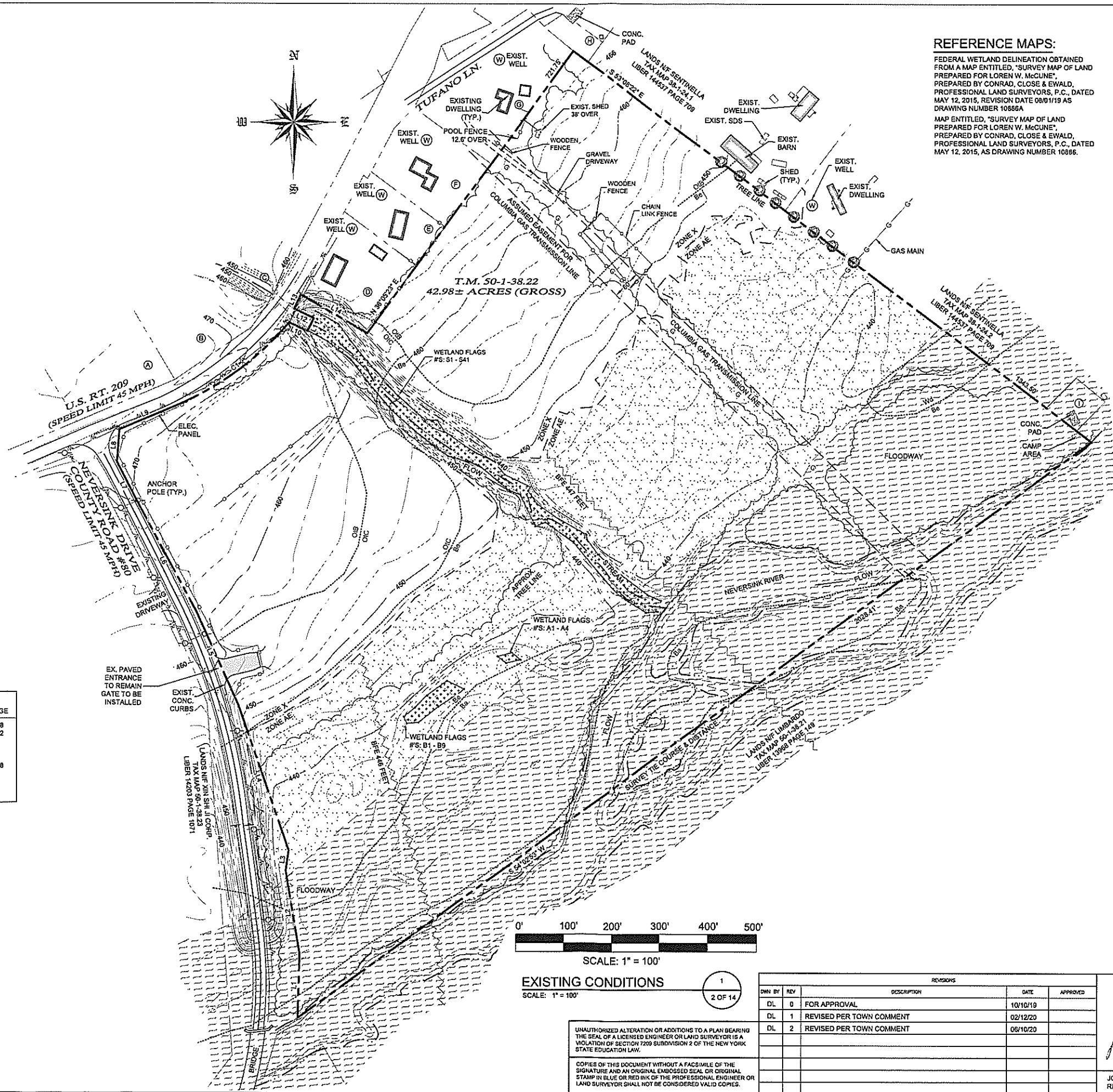
**WETLANDS SITE DETAILS**

<b>SITE</b>	42.98 ± ACRES
<b>WETLANDS</b>	0.753 ACRES
A	0.012 ACRES
B	0.050 ACRES
S (STREAM)	0.651 ACRES
<b>STREAM</b>	
S	941.9 LINEAR FEET
<b>RIVERS</b>	
ON-SITE	3.790 ACRES
	1,594.7 LINEAR FEET
	ORDINARY HIGH WATER ELEVATION = 432 FEET

LINE #	BEARING/ RADIUS	DISTANCE
L1	N 01°34'30" E	132.22'
L2	N 09°27'30" W	175.07'
L3	N 08°13'55" E	41.67'
L4	N 19°06'00" W	317.46'
L5	N 24°06'19" W	210.15'
L6	N 28°17'20" W	250.03'
L7	N 27°22'20" W	100.00'
L8	N 04°19'42" E	67.16'
L9	N 67°10'00" E	122.43'
C1	R=520.82' L=295.62'	
L10	S 64°29'00" E	42.01'
L11	N 25°31'00" E	30.00'
L12	N 64°29'00" W	45.00'
L13	N 25°31'00" E	31.97'
L14	S 60°09'37" E	158.09'

LETTER	LANDS N/F	TAX MAP	LIBER-PAGE
A	HAI	50-1-2	14509-1438
B	NI	50-1-1	14468-1942
C	ROEDER & HULSE	38-1-30.21	12664-289
D	KRUPUNICH	38-1-29	3295-327
E	ECCLESTON	38-1-28	3448-229
F	PANTLEY	38-1-27	14457-1748
G	TUFANO	38-1-26	1826-311
H	BLACKSTAR	38-1-25	4519-23
I	SENTINELLA	38-1-23	14537-709

THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.



**REFERENCE MAPS:**

FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, REVISION DATE 08/01/19 AS DRAWING NUMBER 10886A  
 MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, AS DRAWING NUMBER 10886.

**LEGEND**

---	PROPERTY LINE	[Hatched Box]	EXISTING DWELLING
---	PROPOSED PROPERTY LINE	[Dotted Box]	FLOODWAY
---/---/---	OVERHEAD UTILITIES	[Dashed Box]	ZONE AE
○	UTILITY POLE	[Stippled Box]	DELINEATED WETLANDS
---	CONTOUR LINES	[Dotted Box]	APPROX. LOC. OF EXIST. SDS
---	WATER LINE	[Dotted Box]	EXISTING WELL
---	SOIL LINES	[Dotted Box]	N/F NOW OR FORMERLY
---	BASE FLOOD ELEVATION		
---	ZONE X FLOOD ZONE LINE		
---	ZONE AE FLOOD ZONE LINE		

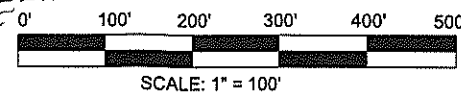
**GENERAL NOTES:**

- OWNER OF RECORD / APPLICANT: LM PROPERTY HOLDINGS, LLC  
323 NEVERSINK DRIVE  
PORT JERVIS, NY 12771
- TAX MAP DESIGNATION: SECTION 50 BLOCK 1 LOTS 38.22
- PARCEL ZONED: HM-U (HAMLET MIXED-USE DISTRICT)
- TOTAL AREA: GROSS: 1,872,209 S.F. / 42.98± ACRES
- EXISTING NO. LOTS: 1
- SOILS SHOWN ARE BASED ON AVAILABLE DATA FROM THE ORANGE COUNTY GEOLOGICAL INFORMATION SYSTEMS WEBSITE.
- FLOODWAY, BASE FLOOD ELEVATIONS AND FLOOD ZONES SHOWN ARE BASED ON FEMA FLOOD MAP #36071C0217E, EFFECTIVE 08/03/2009. FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PROFESSIONAL LAND SURVEYORS, P.C.
- TOPOGRAPHY SHOWN WAS TAKEN FROM AN AERIAL SURVEY PREPARED BY GAI ASSOCIATES AS MAP NUMBER GAI-1945.DWG

**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: (HM-U) HAMLET/MIXED USE DISTRICT

	MINIMUM REQUIREMENTS	EXISTING
LOT AREA:	15,000 S.F.	42,98± ACRES
LOT WIDTH:	100 FEET	1300± FEET
LOT DEPTH:	150 FEET	1160± FEET
FRONT YARD:	35 FEET	-
SIDE YARD:	20 FEET	-
REAR YARD:	35 FEET	-
FLOOR AREA:	1,000 S.F.	-
	MAXIMUM PERMITTED	
BLDG HEIGHT:	75 FEET	
BLDG. COVERAGE:	20 %	
IMP. COVERAGE:	70 %	



**EXISTING CONDITIONS**  
SCALE: 1" = 100"

1  
2 OF 14

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REV	DATE	DESCRIPTION	APPROVED
DL 0	10/10/19	FOR APPROVAL	
DL 1	02/12/20	REVISED PER TOWN COMMENT	
DL 2	05/10/20	REVISED PER TOWN COMMENT	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1539

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: **EXISTING CONDITIONS** DWG NO.: 2 OF 14  
SCALE: AS NOTED JOB NO.: 2177.030

**LEGEND**

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- CONTOUR LINES
- WATER LINE
- SOIL LINES
- BASE FLOOD ELEVATION
- ZONE X
- ZONE AE
- NOW OR FORMERLY
- EXISTING DWELLING
- ZONE AE
- FLOODWAY ZONE AE
- DELINEATED WETLANDS
- APPROX. LOC. OF EXIST. SDS
- EXISTING WELL
- NOW OR FORMERLY

LETTER	LANDS N/F	TAX MAP	LIBER-PAGE
A	HAI	50-1-2	14509-1438
B	NI	50-1-1	14468-1942
C	ROEDER & HULSE	38-1-30.21	12664-289
D	KRUPUNICH	38-1-28	3295-327
E	ECCLESTON	38-1-28	3448-229
F	PANTLEY	38-1-27	14457-1748
G	TUFANO	38-1-26	1826-311
H	BLACKSTAR	38-1-25	4519-23
I	SENTINELLA	38-1-23	14537-709

**PROPOSED 10' WIDE SEWER EASEMENT**

REF.	BEARING	DIST.
E1	N 27°22'20" W	10.00'
E2	N 62°37'40" E	190.98'
E3	S 47°31'54" E	10.65'
E4	S 62°37'40" W	194.65'

**PROPOSED 10' WIDE DRAINAGE EASEMENT**

REF.	BEARING/RADIUS	DIST.
E5	R=75.00'	10.03'
E6	S 69°05'50" E	233.02'
E7	S 16°07'04" E	5.23'
E8	S 35°01'52" W	6.04'
E9	N 89°05'50" W	230.43'

**PROPOSED 10' WIDE PEDESTRIAN ACCESS EASEMENT**

REF.	BEARING/RADIUS	DIST.
E10	R=75.00'	10.23'
E11	S 28°17'20" E	200.59'
E12	S 35°01'52" W	5.00'
E13	S 62°37'40" W	5.00'
E14	N 28°17'20" W	200.92'

LOT #	LOT AREA
1	15,173 S.F. / 0.35± ACRES
2	15,051 S.F. / 0.35± ACRES
3	5,245 S.F. / 0.12± ACRES
4	18,528 S.F. / 0.43± ACRES
5	33,079 S.F. / 0.76± ACRES
6	16,782 S.F. / 0.38± ACRES
7	19,278 S.F. / 0.44± ACRES
8	36,004 S.F. / 0.83± ACRES
9	20,255 S.F. / 0.46± ACRES
10	23,582 S.F. / 0.54± ACRES
11	31,667 S.F. / 0.73± ACRES
12	32,762 S.F. / 0.75± ACRES
13	20,012 S.F. / 0.46± ACRES
14	21,003 S.F. / 0.48± ACRES
15	21,900 S.F. / 0.49± ACRES
16	22,589 S.F. / 0.52± ACRES
17	15,616 S.F. / 0.36± ACRES
18	15,616 S.F. / 0.36± ACRES
19	15,616 S.F. / 0.36± ACRES
20	15,616 S.F. / 0.36± ACRES

**PROPOSED ROAD CURVE CHART**

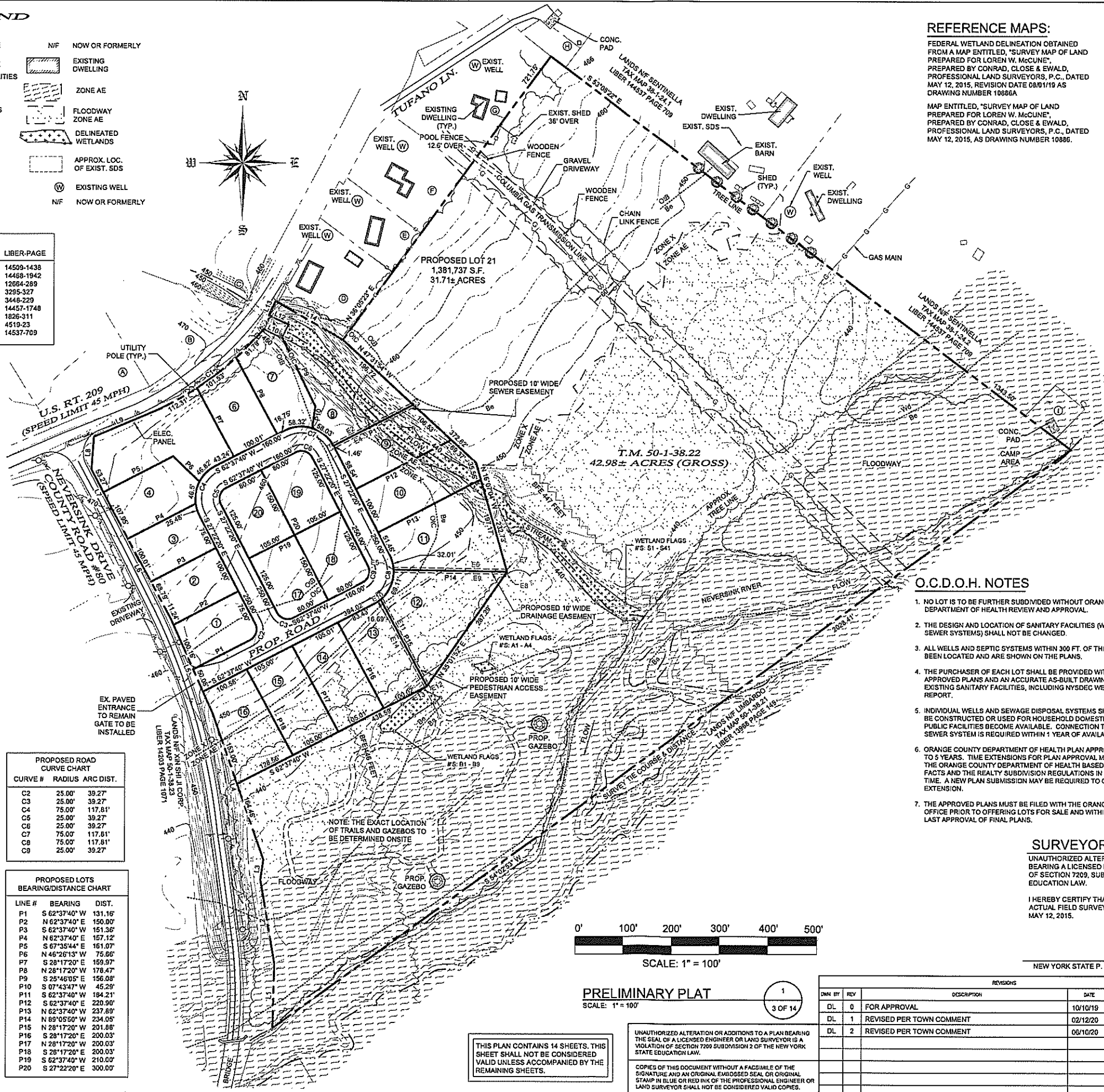
CURVE #	RADIUS	ARC DIST.
C2	25.00'	39.27'
C3	25.00'	39.27'
C4	75.00'	117.81'
C5	25.00'	39.27'
C6	25.00'	39.27'
C7	75.00'	117.81'
C8	75.00'	117.81'
C9	25.00'	39.27'

**PROPOSED LOTS BEARING/DISTANCE CHART**

LINE #	BEARING	DIST.
P1	S 62°37'40" W	131.16'
P2	N 62°37'40" E	150.00'
P3	S 62°37'40" W	151.36'
P4	N 62°37'40" E	157.12'
P5	S 67°35'44" E	161.07'
P6	N 45°26'13" W	75.00'
P7	S 28°17'20" E	159.97'
P8	N 28°17'20" W	178.47'
P9	S 25°46'05" E	156.08'
P10	S 07°43'47" W	45.29'
P11	S 62°37'40" W	194.21'
P12	S 62°37'40" E	220.90'
P13	N 62°37'40" W	237.89'
P14	N 89°05'50" W	234.05'
P15	N 28°17'20" W	201.68'
P16	S 28°17'20" E	200.03'
P17	N 28°17'20" W	200.03'
P18	S 28°17'20" E	200.03'
P19	S 62°37'40" W	210.00'
P20	S 27°22'20" E	300.00'

**DIST., BEARING & CURVE CHART**

LINE #	BEARING/RADIUS	DISTANCE
L1	N 01°34'30" E	132.22'
L2	N 09°27'30" W	175.07'
L3	N 08°13'55" E	41.67'
L4	N 10°06'00" W	317.46'
L5	N 24°06'19" W	210.15'
L6	N 28°17'20" W	250.03'
L7	N 27°22'20" W	100.00'
L8	N 04°19'42" E	67.18'
L9	N 67°10'00" E	122.43'
C1	R=520.62'	L=295.62'
L10	S 64°29'00" E	42.01'
L11	N 25°31'00" E	30.00'
L12	N 64°29'00" W	45.00'
L13	N 25°31'00" E	31.97'
L14	S 60°09'37" E	159.99'



**REFERENCE MAPS:**

FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, REVISION DATE 08/01/19 AS DRAWING NUMBER 10886A

MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, AS DRAWING NUMBER 10886.

**STATUTORY PLAT NOTES**

- OWNER OF RECORD: LM PROPERTY HOLDINGS, LLC, 323 NEVERSINK DRIVE, PORT JERVIS, NY 12771
- TAX MAP DESIGNATION: SECTION 50 BLOCK 1 LOTS 38.22
- PARCEL ZONED: HM-U (HAMLET MIXED-USE DISTRICT)
- TOTAL AREA: 1,872,209 S.F. / 42.98± ACRES
- EXISTING NO. LOTS: 1, PROPOSED NO. LOTS: 21
- PROPOSED WASTEWATER SYSTEMS FOR EACH NEW LOT TO BE SERVICED BY A BELOW GRADE COMMUNITY SANITARY DISPOSAL SYSTEM.
- PROPOSED WATER SUPPLY FOR EACH NEW LOT WILL BE PROVIDED BY ON-SITE DRILLED WELLS.
- ALL KNOWN WELLS AND SEPTICS WITHIN 200 FEET OF THE PROPOSED WELLS AND SEPTICS HAVE BEEN SHOWN.
- WELL AND SEPTIC TO BE DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF HEALTH'S APPENDIX 75-A, WASTEWATER TREATMENT STANDARDS - INDIVIDUAL HOUSEHOLD SYSTEMS.
- VERIFICATION OF SUITABLE TRENCH BOTTOM SOIL CONDITIONS TO BE MADE BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.
- THE CONSTRUCTION OF ALL SUBSURFACE WASTEWATER DISPOSAL SYSTEMS WILL BE SUPERVISED, INSPECTED, AND CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER TO THE TOWN OFFICIAL'S PRIOR TO OCCUPANCY.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL STAKE OUT THE LOCATION OF THE WELL AND SUBSURFACE WASTEWATER DISPOSAL SYSTEM.
- SOILS SHOWN ARE BASED ON AVAILABLE DATA FROM THE ORANGE COUNTY GEOLOGICAL INFORMATION SYSTEMS WEBSITE
- FLOODWAY, BASE FLOOD ELEVATIONS AND FLOOD ZONES SHOWN ARE BASED ON FEMA FLOOD MAP #436071C0217E, EFFECTIVE 08/03/2009. FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C.
- TOPOGRAPHY SHOWN WAS TAKEN FROM AN AERIAL SURVEY PREPARED BY GAI ASSOCIATES AS MAP NUMBER GAI-1946.DWG
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT DRIVEWAY ENTRANCES ON TOWN ROADS.
- DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL DRAINAGE FACILITIES ARE REQUIRED TO PROVIDE POSITIVE DRAINAGE WITHIN THE RIGHT-OF-WAY OR ADJACENT PROPERTY, THEY SHALL BE INSTALLED BY THE DEVELOPER AT NO COST TO THE TOWN. ALL EMBANKMENTS ARE TO BE GRADED AND SEEDS IMMEDIATELY UPON BEING LAID BACK.
- ALL EROSION CONTROL DEVICES ARE TO BE SET IN PLACE PRIOR TO ANY LAND DISTURBANCE. DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN BUILDING INSPECTOR AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL EROSION CONTROL DEVICES ARE REQUIRED, THEY SHALL BE INSTALLED IMMEDIATELY BY THE DEVELOPER AT NO COST TO THE TOWN.
- PRIOR TO THE INITIATION OF CONSTRUCTION ON ANY BUILDING LOT WHICH GAINS ACCESS FROM A TOWN ROAD, THE APPLICANT WILL BE REQUIRED TO OBTAIN A DRIVEWAY PERMIT FROM THE TOWN HIGHWAY SUPERINTENDENT.
- THE APPROVED PLAT MUST BE FILED IN THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO THE OFFERING OF LOTS FOR SALE, AND WITHIN 62 DAYS OF FINAL APPROVAL.
- THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT SURVEY OF ANY EXISTING SANITARY FACILITIES.

**O.C.D.O.H. NOTES**

- NO LOT IS TO BE FURTHER SUBDIVIDED WITHOUT ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 300 FT. OF THIS PROJECT HAVE BEEN LOCATED AND ARE SHOWN ON THE PLANS.
- THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING NYSDDEC WELL COMPLETION REPORT.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF FINAL PLANS.

**SURVEYOR RESPONSIBILITIES**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

I HEREBY CERTIFY THAT THIS SUBDIVISION IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE UNDERSIGNED ON MAY 12, 2015.

DATE:

NEW YORK STATE P. L. S. LICENSE NO. 49042

**PRELIMINARY PLAT**

SCALE: 1" = 100'

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

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THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

REV	DATE	DESCRIPTION	APPROVED
DL 0	10/10/19	FOR APPROVAL	
DL 1	02/12/20	REVISED PER TOWN COMMENT	
DL 2	06/10/20	REVISED PER TOWN COMMENT	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(516) 856-1536

JOHN D. FULLER, P.E., P.C.

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: **PRELIMINARY PLAT**

DWG NO.: 3 OF 14

SCALE: AS NOTED

JOB NO.: 2177.030



**LEGEND**

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- CONTOUR LINES
- WATER LINE
- SOIL LINES
- BASE FLOOD ELEVATION
- ZONE X FLOOD ZONE LINE
- ZONE AE FLOOD ZONE LINE
- N/F NOW OR FORMERLY
- EXISTING DWELLING
- ZONE AE
- FLOODWAY ZONE AE
- DELINEATED WETLANDS
- APPROX. LOC. OF EXIST. SDS
- EXISTING WELL
- N/F NOW OR FORMERLY

**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: (HM-U) HAMLET/MIXED USE DISTRICT

MINIMUM REQUIREMENTS	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA:	15,000 S.F.	15,173± S.F.	15,051± S.F.	15,246± S.F.
LOT WIDTH:	100 FEET	100.0 FEET	100.0 FEET	100.7± FEET
LOT DEPTH:	150 FEET	152.1± FEET	152.4± FEET	174.5± FEET
FRONT YARD:	35 FEET	55.8± FEET	55.8± FEET	55.8± FEET
SIDE YARD:	20 FEET	20.0 FEET	20.0 FEET	20.0 FEET
REAR YARD:	35 FEET	65.7± FEET	64.1± FEET	65.9± FEET
FLOOR AREA:	1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.
MAXIMUM PERMITTED				
BLDG. HEIGHT:	75 FEET	< 75 FEET	< 75 FEET	< 75 FEET
BLDG. COVERAGE:	20 %	< 20 %	< 20 %	< 20 %
IMP. COVERAGE:	70 %	< 70 %	< 70 %	< 70 %

PROPOSED LOT 5	PROPOSED LOT 6	PROPOSED LOT 7	PROPOSED LOT 8	PROPOSED LOT 9
LOT AREA:	33,079± S.F.	16,782± S.F.	19,278± S.F.	36,004± S.F.
LOT WIDTH:	100.0 FEET	100.0 FEET	100.0 FEET	20,255± S.F.
LOT DEPTH:	157.1± FEET	165.9± FEET	211.8± FEET	168.9± FEET
FRONT YARD:	82.1± FEET	63.4± FEET	65.2± FEET	35.0 FEET
SIDE YARD:	49.8± FEET	20.0 FEET	20.0 FEET	21.2± FEET
REAR YARD:	45.0± FEET	68.5± FEET	88.2± FEET	101.4± FEET
FLOOR AREA:	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.
BLDG. HEIGHT:	< 75 FEET	< 75 FEET	< 75 FEET	< 75 FEET
BLDG. COVERAGE:	< 20 %	< 20 %	< 20 %	< 20 %
IMP. COVERAGE:	< 70 %	< 70 %	< 70 %	< 70 %

PROPOSED LOT 10	PROPOSED LOT 11	PROPOSED LOT 12	PROPOSED LOT 13	PROPOSED LOT 14
LOT AREA:	23,582± S.F.	31,667± S.F.	32,762± S.F.	20,012± S.F.
LOT WIDTH:	100.0 FEET	105.0 FEET	117.2± FEET	100.0 FEET
LOT DEPTH:	234.2± FEET	223.3± FEET	179.8± FEET	200.0 FEET
FRONT YARD:	35.0 FEET	37.6± FEET	49.1± FEET	35.0 FEET
SIDE YARD:	20.0 FEET	22.3± FEET	35.1± FEET	20.0 FEET
REAR YARD:	157.2± FEET	151.2± FEET	96.6± FEET	134.2± FEET
FLOOR AREA:	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.
BLDG. HEIGHT:	< 75 FEET	< 75 FEET	< 75 FEET	< 75 FEET
BLDG. COVERAGE:	< 20 %	< 20 %	< 20 %	< 20 %
IMP. COVERAGE:	< 70 %	< 70 %	< 70 %	< 70 %

PROPOSED LOT 15	PROPOSED LOT 16	PROPOSED LOT 17	PROPOSED LOT 18	PROPOSED LOT 19
LOT AREA:	21,000± S.F.	22,589± S.F.	15,616± S.F.	15,616± S.F.
LOT WIDTH:	105.0 FEET	103.1± FEET	105.0± FEET	105.0± FEET
LOT DEPTH:	200.0 FEET	150.0 FEET	150.0 FEET	150.0 FEET
FRONT YARD:	35.0 FEET	59.4± FEET	40.0± FEET	40.0± FEET
SIDE YARD:	20.0 FEET	20.0 FEET	20.0 FEET	20.0 FEET
REAR YARD:	134.2± FEET	109.8± FEET	63.5± FEET	63.5± FEET
FLOOR AREA:	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.	> 1,000 S.F.
BLDG. HEIGHT:	< 75 FEET	< 75 FEET	< 75 FEET	< 75 FEET
BLDG. COVERAGE:	< 20 %	< 20 %	< 20 %	< 20 %
IMP. COVERAGE:	< 70 %	< 70 %	< 70 %	< 70 %

PROPOSED LOT 20	PROPOSED LOT 21	
LOT AREA:	15,616± S.F.	1,381,737± S.F.
LOT WIDTH:	105.0 FEET	1,381,737± S.F.
LOT DEPTH:	150.0 FEET	1422.0± FEET
FRONT YARD:	40.0± FEET	NA
SIDE YARD:	20.0 FEET	NA
REAR YARD:	61.7± FEET	NA
FLOOR AREA:	> 1,000 S.F.	NA
BLDG. HEIGHT:	< 75 FEET	NA
BLDG. COVERAGE:	< 20 %	NA
IMP. COVERAGE:	< 70 %	NA

**PROPOSED 10' WIDE SEWER EASEMENT**

REF.	BEARING	DIST.
E1	N 27°22'20" W	10.00'
E2	N 62°37'40" E	190.98'
E3	S 47°31'54" E	10.65'
E4	S 62°37'40" W	194.65'

**PROPOSED 10' WIDE DRAINAGE EASEMENT**

REF.	BEARING/RADIUS	DIST.
E5	R=75.00'	10.03'
E6	S 89°05'50" E	233.02'
E7	S 16°07'04" E	5.23'
E8	S 35°01'52" W	6.04'
E9	N 89°05'50" W	230.49'

**PROPOSED 10' WIDE PEDESTRIAN ACCESS EASEMENT**

REF.	BEARING/RADIUS	DIST.
E10	R=75.00'	10.23'
E11	S 28°17'20" E	200.59'
E12	S 35°01'52" W	5.60'
E13	S 62°37'40" W	5.00'
E14	N 28°17'20" W	200.92'

**PROPOSED LOTS BEARING/DISTANCE CHART**

LINE #	BEARING	DIST.
P1	S 62°37'40" W	131.16'
P2	N 62°37'40" E	150.00'
P3	S 62°37'40" W	151.36'
P4	N 62°37'40" E	157.12'
P5	S 67°35'44" E	161.07'
P6	N 48°26'13" W	75.56'
P7	S 28°17'20" E	159.97'
P8	N 28°17'20" W	178.47'
P9	S 25°46'05" E	156.06'
P10	S 07°43'47" W	45.29'
P11	S 62°37'40" W	184.21'
P12	S 62°37'40" E	220.90'
P13	N 62°37'40" W	237.89'
P14	N 89°05'50" W	234.05'
P15	N 28°17'20" W	201.68'
P16	S 28°17'20" E	200.03'
P17	N 28°17'20" W	200.03'
P18	S 28°17'20" E	200.03'
P19	S 62°37'40" W	210.00'
P20	S 27°22'20" E	300.00'

**PROPOSED ROAD CURVE CHART**

CURVE #	RADIUS	ARC DIST.
C2	25.00'	39.27'
C3	25.00'	39.27'
C4	75.00'	117.81'
C5	25.00'	39.27'
C6	25.00'	39.27'
C7	75.00'	117.81'
C8	75.00'	117.81'
C9	25.00'	39.27'

**DIST., BEARING & CURVE CHART**

LINE #	BEARING/RADIUS	DISTANCE
L1	N 01°34'30" E	132.22'
L2	N 09°27'30" W	175.07'
L3	N 08°13'55" E	41.67'
L4	N 19°08'00" W	317.40'
L5	N 24°06'19" W	210.15'
L6	N 28°17'20" W	250.03'
L7	N 27°22'20" W	100.00'
L8	N 04°19'42" E	67.18'
L9	N 67°10'00" E	122.43'
C10	R=520.82'	L=295.62'
L10	S 64°29'00" E	42.01'
L11	N 25°31'00" E	30.00'
L12	N 64°29'00" W	45.00'
L13	N 25°31'00" W	31.97'
L14	S 60°09'37" E	158.99'

**REFERENCE MAPS:**  
 FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. MCCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, REVISION DATE 08/01/19 AS DRAWING NUMBER 10886A  
 MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. MCCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, AS DRAWING NUMBER 10886.

THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

**SUBDIVISION DETAIL PLAN**  
 SCALE: 1" = 50'

REV	DESCRIPTION	DATE	APPROVED
DL 0	FOR APPROVAL	10/10/19	
DL 1	REVISED PER TOWN COMMENT	02/12/20	
DL 2	REVISED PER TOWN COMMENT	06/10/20	

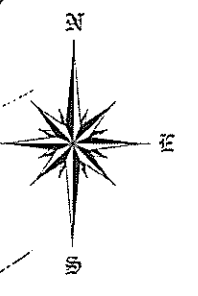
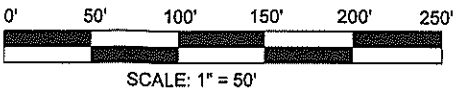
JOHN D. FULLER  
 REG. NO. 077703

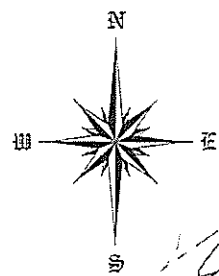
TOWN OF DEERPARK  
 PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C.  
 4 SOUTH STREET  
 PORT JERVIS, NY 12771  
 (845) 856-1536

RIVENDALE SUBDIVISION  
 515 NEVERSINK DRIVE  
 SECTION 50 BLOCK 1 LOT 38.22  
 TOWN OF DEERPARK  
 ORANGE COUNTY, N.Y.

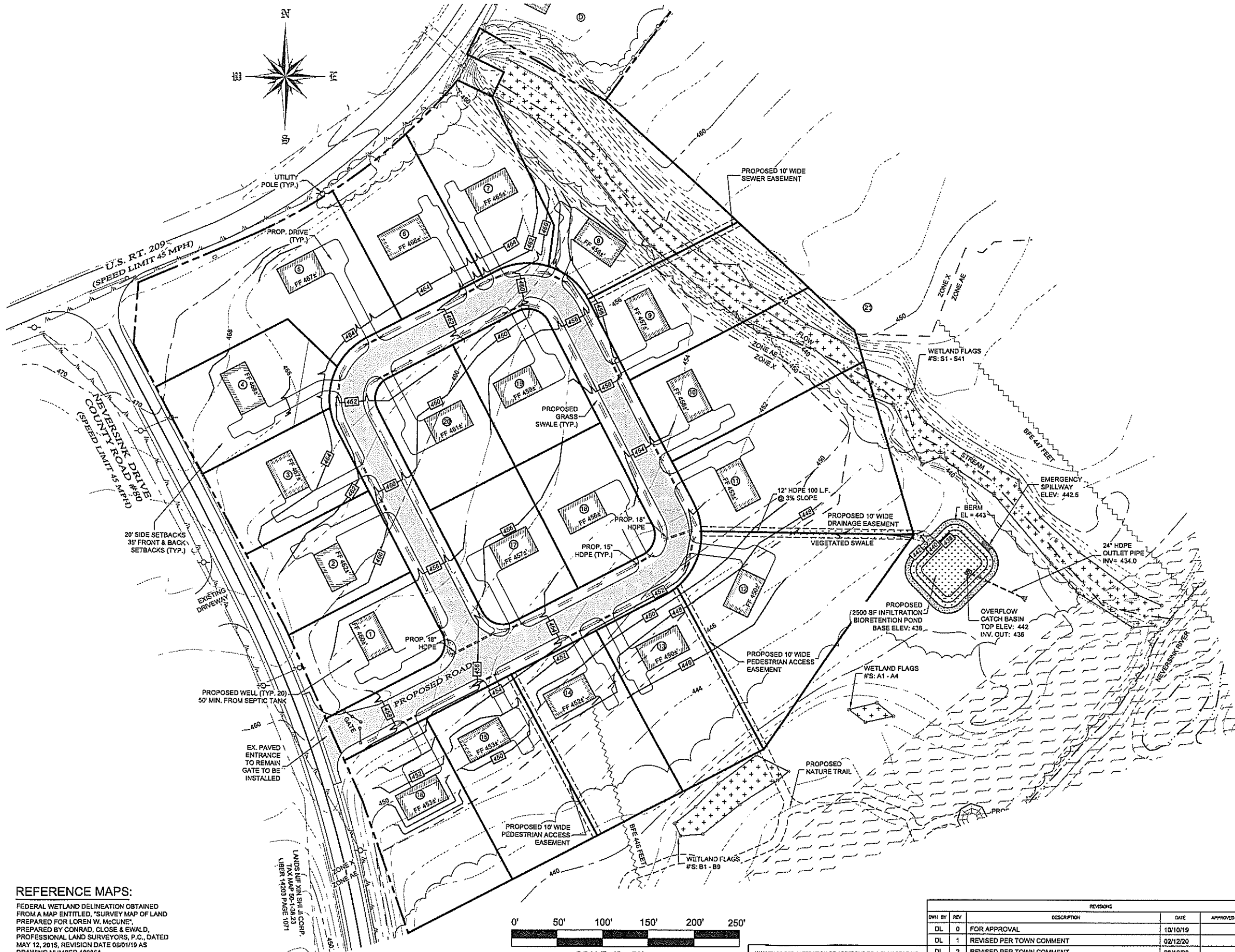
DWG. TITLE: **SUBDIVISION DETAIL PLAN**  
 SCALE: AS NOTED  
 SHEET NO.: 4 OF 14  
 JOB NO.: 2177.030





**LEGEND**

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- CONTOUR LINES
- WATER LINE
- SOIL LINES
- BASE FLOOD ELEVATION
- FLOOD ZONE LINE
- FLOOD ZONE X
- FLOOD ZONE AE
- PROPOSED CONTOURS
- N/F NOW OR FORMERLY
- PROPOSED DWELLING
- EXISTING DWELLING
- FLOODWAY ZONE AE
- DELINEATED WETLANDS
- APPROX. LOC. OF EXIST. SDS
- EXISTING WELL
- PROPOSED WELL



**GRADING & UTILITIES NOTES**

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 1.5% MIN. ACROSS ALL PAVED SURFACES AND SLOPE ALONG ALL GUTTERS TO PREVENT PONDING. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL DISCREPANCIES AND OTHER CONDITIONS THAT MAY AFFECT PUBLIC SAFETY AS WELL AS THE PROJECT COST TO ENGINEER IMMEDIATELY IN WRITING.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSING) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. A MINIMUM OF 16" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSING. ANY POTENTIAL CROSSINGS LESS THAN THE MINIMUM REQUIRED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY IN WRITING.
- REFER TO CONSTRUCTION DETAIL PLAN FOR GRADING AND YARD DETAILS.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE NEW YORK ONE CALL SYSTEM (1-800-962-7952) 48 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN REQUIREMENTS.
- ALL UTILITY CONNECTIONS TO BE MADE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
- ALL UTILITY SERVICES TO BE SIZED IN ACCORDANCE WITH ARCHITECTURAL PLANS (BY OTHERS).

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

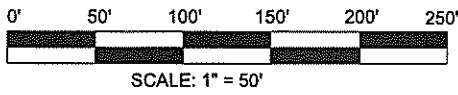
4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1538

**JOHN D. FULLER, P.E., P.C.**

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

**REFERENCE MAPS:**  
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MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, AS DRAWING NUMBER 10886.

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**GRADING PLAN**

1  
5 OF 14

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 2209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
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REV	DESCRIPTION	DATE	APPROVED
DL 0	FOR APPROVAL	10/10/19	
DL 1	REVISED PER TOWN COMMENT	02/12/20	
DL 2	REVISED PER TOWN COMMENT	06/10/20	

*[Signature]*

JOHN D. FULLER  
REG. NO. 077703

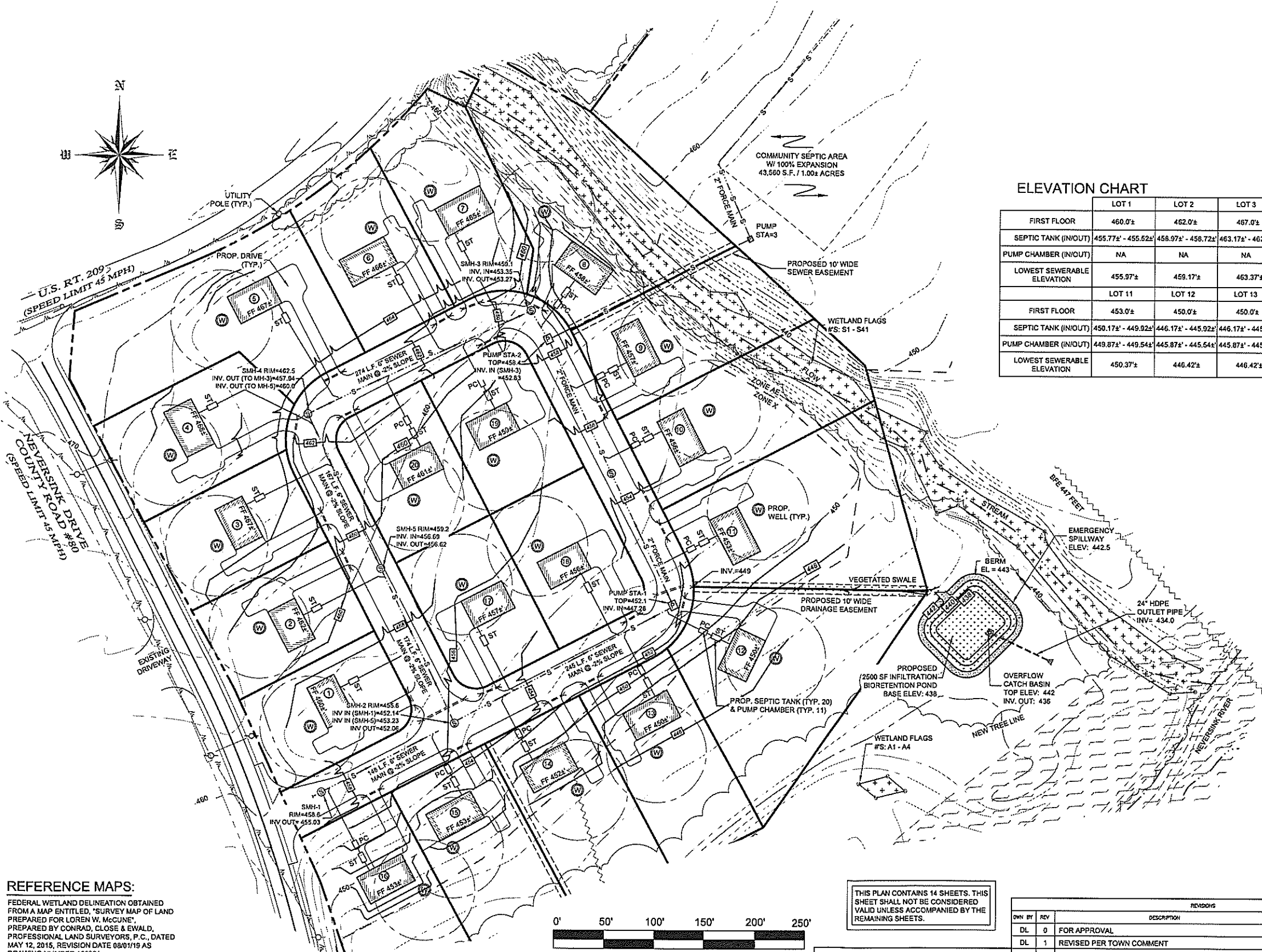
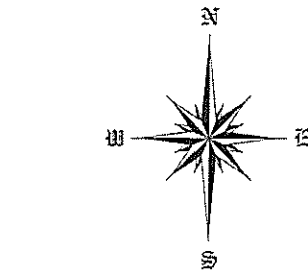
DWG TITLE: **GRADING PLAN** DWG NO.: **5 OF 14**  
SCALE: AS NOTED JOB NO.: 2177.030

**LEGEND**

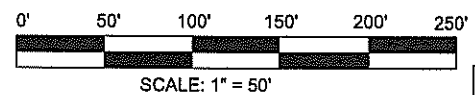
- PROPERTY LINE
- PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- CONTOUR LINES
- WATER LINE
- SOIL LINES
- BASE FLOOD ELEVATION
- ZONE X FLOOD ZONE LINE
- ZONE AE FLOOD ZONE LINE
- PROPOSED CONTOURS
- N/F NOW OR FORMERLY
- PROPOSED DWELLING
- EXISTING DWELLING
- FLOODWAY ZONE AE
- DELINEATED WETLANDS
- APPROX. LOC. OF EXIST. SDS
- PROPOSED WELL
- PROPOSED PUMP STATION
- PROPOSED SEPTIC TANK
- PROPOSED PUMP CHAMBER

**ELEVATION CHART**

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10
FIRST FLOOR	460.0±	462.0±	467.0±	468.0±	467.0±	466.0±	465.0±	458.0±	457.0±	457.0±
SEPTIC TANK (IN/OUT)	455.77± - 455.52±	458.97± - 458.72±	463.17± - 462.92±	465.17± - 464.92±	463.17± - 462.92±	462.77± - 462.52±	462.47± - 462.22±	454.17± - 453.92±	453.37± - 453.12±	453.37± - 453.12±
PUMP CHAMBER (IN/OUT)	NA	NA	NA	NA	NA	NA	NA	453.87± - 453.54±	453.07± - 452.74±	453.07± - 452.74±
LOWEST SEWERABLE ELEVATION	455.97±	459.17±	463.37±	465.37±	463.37±	462.97±	462.67±	454.37±	455.37±	455.37±
	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
FIRST FLOOR	453.0±	450.0±	450.0±	452.0±	453.0±	453.0±	457.0±	456.0±	459.0±	461.0±
SEPTIC TANK (IN/OUT)	450.17± - 449.92±	446.17± - 445.92±	446.17± - 445.92±	448.27± - 448.02±	450.47± - 450.22±	450.47± - 450.22±	453.27± - 453.02±	452.17± - 451.92±	454.24± - 453.99±	458.17± - 457.92±
PUMP CHAMBER (IN/OUT)	449.87± - 449.54±	445.87± - 445.54±	445.87± - 445.54±	443.02± - 443.35±	450.17± - 449.84±	450.17± - 449.84±	NA	NA	453.94± - 453.61±	457.67± - 457.54±
LOWEST SEWERABLE ELEVATION	450.37±	446.42±	446.42±	448.47±	450.67±	450.67±	453.47±	452.37±	454.14±	458.37±



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**UTILITIES PLAN**  
 SCALE: 1" = 50'

OWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	10/10/19	
DL	1	REVISED PER TOWN COMMENT	02/12/20	
DL	2	REVISED PER TOWN COMMENT	06/10/20	

JOHN D. FULLER  
 REG. NO. 077703

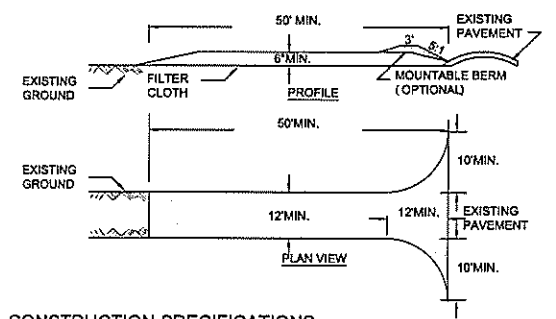
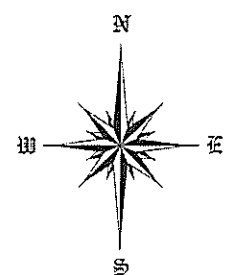
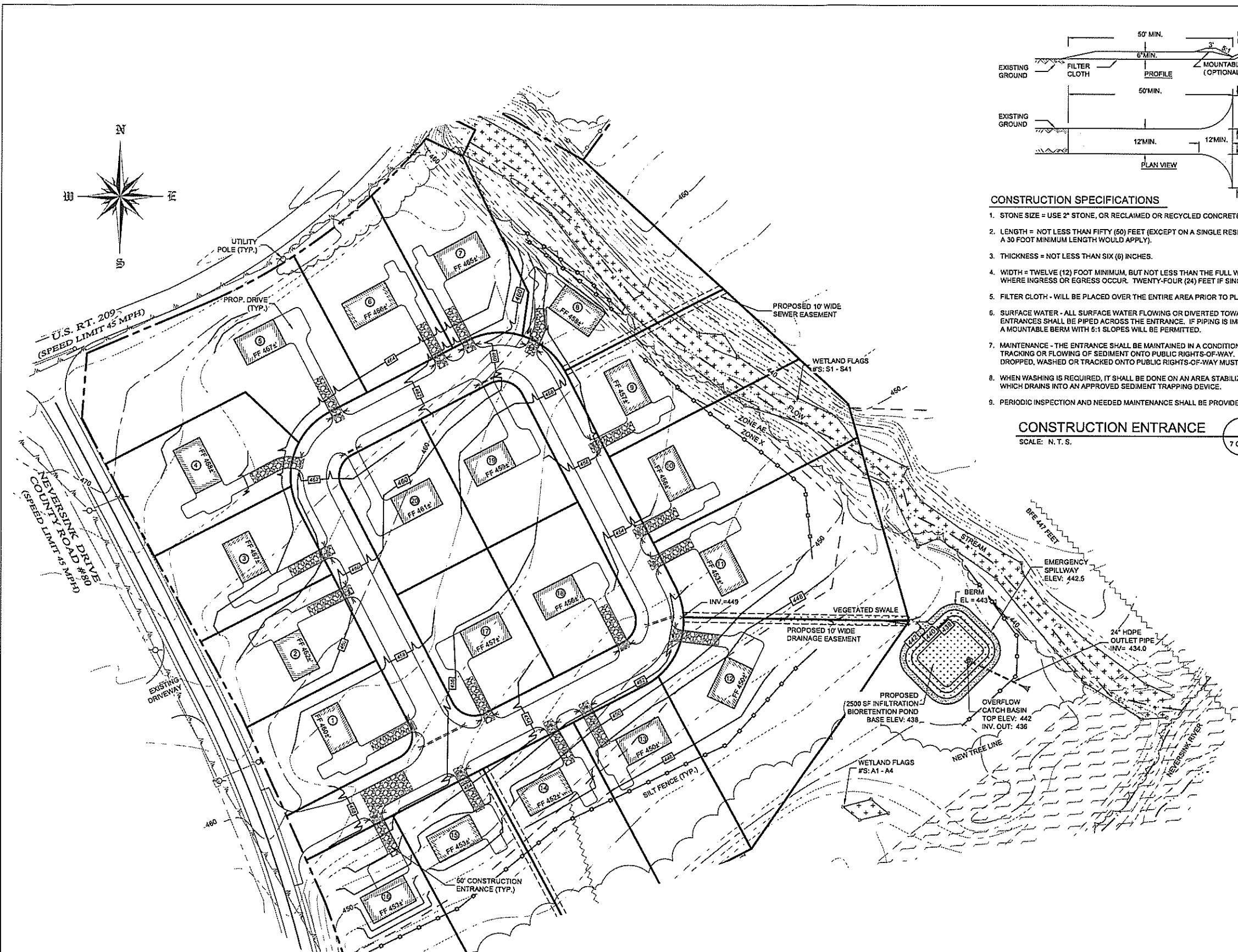
TOWN OF DEERPARK  
 PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C.  
 4 SOUTH STREET  
 PORT JERVIS, NY 12771  
 (845) 856-1536

RIVENDALE SUBDIVISION  
 515 NEVERSINK DRIVE  
 SECTION 50 BLOCK 1 LOT 38.22  
 TOWN OF DEERPARK  
 ORANGE COUNTY, N.Y.

DWG TITLE: **UTILITIES PLAN**  
 SCALE: AS NOTED

DWG NO.: **6 OF 14**  
 JOB NO.: 2177.030



**LEGEND**

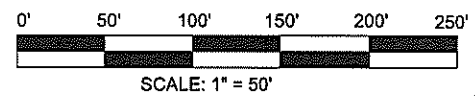
---	PROPERTY LINE	N/F	NOW OR FORMERLY
---	PROPOSED PROPERTY LINE	[Symbol]	PROPOSED DWELLING
---	OVERHEAD UTILITIES	[Symbol]	EXISTING DWELLING
---	UTILITY POLE	[Symbol]	FLOODWAY ZONE AE
---	CONTOUR LINES	[Symbol]	DELINEATED WETLANDS
---	WATER LINE	[Symbol]	APPROX. LOC. OF EXIST. SDS
---	SOIL LINES	[Symbol]	SILT FENCE
---	BASE FLOOD ELEVATION	[Symbol]	EXISTING WELL
---	FLOOD ZONE LINE	[Symbol]	CONSTRUCTION ENTRANCE
---	ZONE X	[Symbol]	PROPOSED CONTOURS
---	ZONE AE	[Symbol]	

- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS = NOT LESS THAN SIX (6) INCHES.
  - WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**CONSTRUCTION ENTRANCE** 2  
SCALE: N. T. S. 7 OF 13

- EROSION & SEDIMENT CONTROL NOTES**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
  - THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
  - SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 15TH THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
  - INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
  - ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
  - NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
  - IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
  - THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
  - DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGARDED ONTO OPEN AREAS.
  - ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

**REFERENCE MAPS:**  
FEDERAL WETLAND DELINEATION OBTAINED FROM A MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, REVISION DATE 08/01/19 AS DRAWING NUMBER 10886A  
MAP ENTITLED, "SURVEY MAP OF LAND PREPARED FOR LOREN W. McCUNE", PREPARED BY CONRAD, CLOSE & EWALD, PROFESSIONAL LAND SURVEYORS, P.C., DATED MAY 12, 2015, AS DRAWING NUMBER 10886.



**EROSION & SEDIMENTATION CONTROL PLAN**  
SCALE: 1" = 50' 1 7 OF 14

THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
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DATE	REV	DESCRIPTION	DATE	APPROVED
	0	FOR APPROVAL	10/10/19	
	1	REVISED PER TOWN COMMENT	02/12/20	
	2	REVISED PER TOWN COMMENT	06/10/20	

JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(849) 856-1530

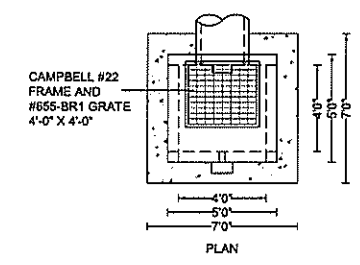
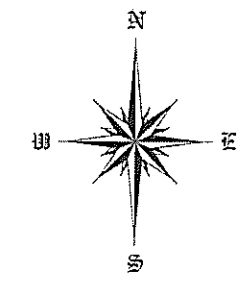
RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: EROSION & SEDIMENTATION CONTROL PLAN DWG NO. 7 OF 14  
SCALE: AS NOTED JOB NO. 2177.030



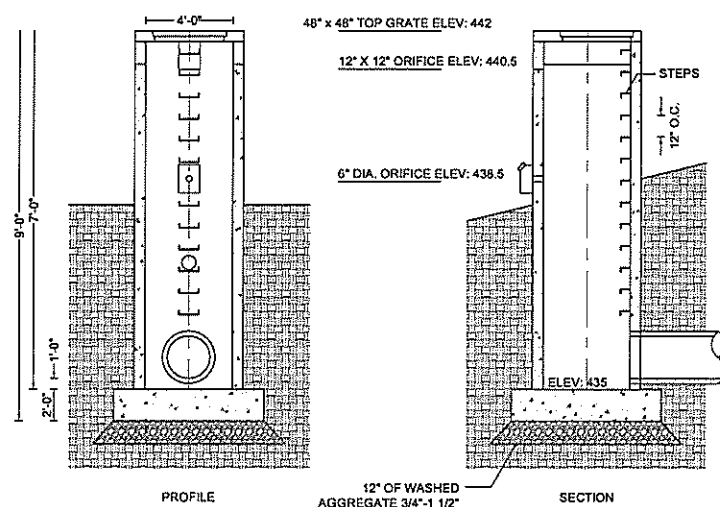
**LEGEND**

- PROPERTY LINE
- PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- 9'10" CONTOUR LINES
- WATER LINE
- SOIL LINES
- BASE FLOOD ELEVATION
- FLOOD ZONE X
- FLOOD ZONE AE
- EXISTING WELL
- PROPOSED CONTOURS
- N/F NOW OR FORMERLY
- PROPOSED DWELLING
- EXISTING DWELLING
- FLOODWAY ZONE AE
- DELINEATED WETLANDS
- APPROX. LOC. OF EXIST. SCS
- SILT FENCE
- CONSTRUCTION ENTRANCE

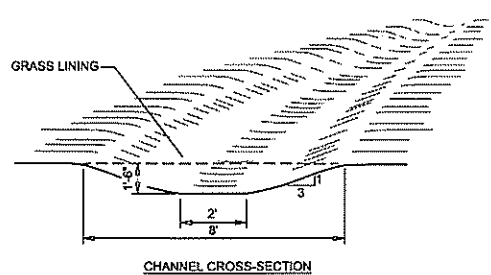


**NOTES:**

1. REINFORCING STEEL SHALL EXTEND FROM THE BASE TO THE WALLS OF THE STRUCTURE. ALTERNATELY, THE WALLS SHALL BE BOLTED TO THE BASE. THE ENTIRE STRUCTURE SHALL BE STRUCTURALLY CONNECTED TO PREVENT UPLIFT.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE DISCHARGE STRUCTURE TO THE ENGINEER FOR REVIEW AND APPROVAL.



**OUTLET STRUCTURE**  
2 OF 14



**CHANNEL CROSS-SECTION**

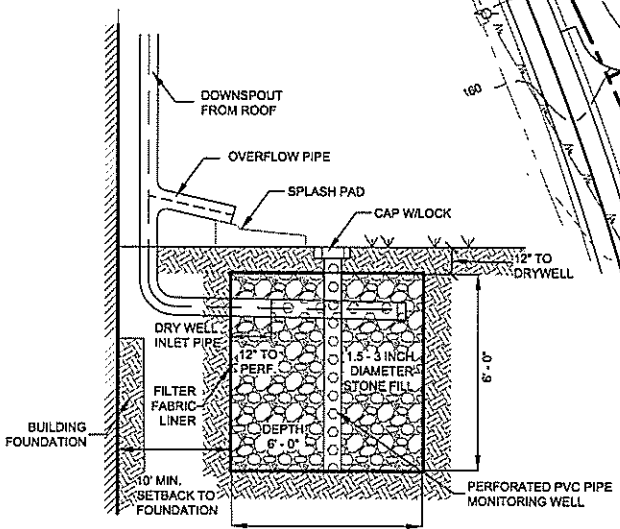
**CONSTRUCTION SPECIFICATIONS:**

1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS
3. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY, OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
4. FILL SHALL BE COMPACTED AS NEEDED IN CONSTRUCTION TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED WATERWAY.

**GRASS SWALE DETAIL**

SCALE: NTS

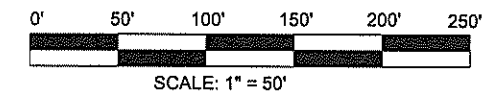
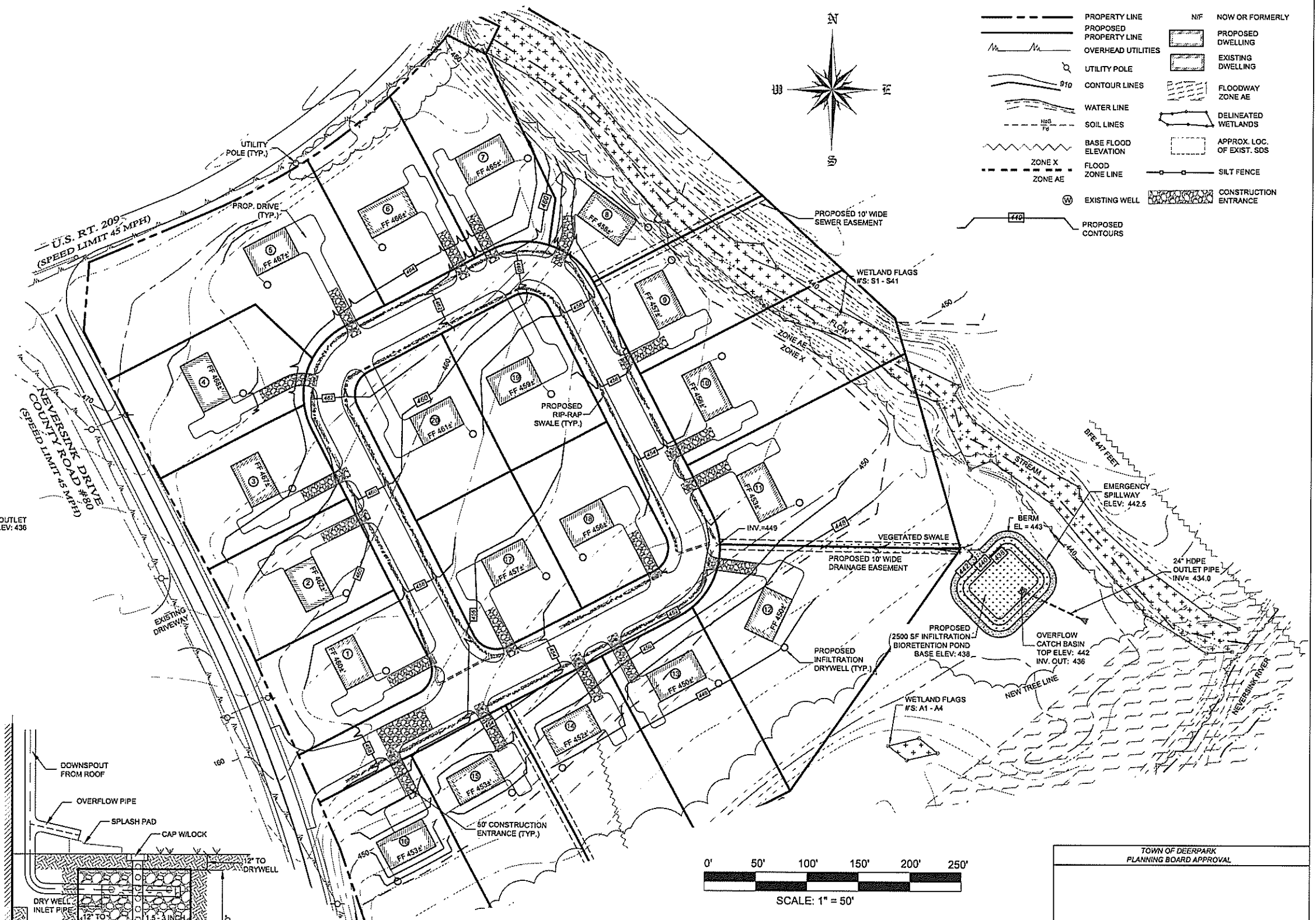
3 OF 14



**TYPICAL INFILTRATION DRYWELL (TYPICAL HOUSE/LOT)**

SCALE: NTS

4 OF 14



**STORMWATER MANAGEMENT PLAN**  
SCALE: 1" = 50'

1 OF 14

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DL 2	06/10/20	REVISED PER TOWN COMMENT	

Signature of John D. Fuller, P.E., P.C.

JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C.  
4 SOUTH STREET  
PORT JERVIS, NY 12771  
(849) 856-1536

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

STORMWATER MANAGEMENT PLAN  
SCALE: AS NOTED  
JOB NO. 2177.030  
DWG NO. 8 OF 14





**LEGEND**

- PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- PROPOSED DWELLING
- ⊙ PROPOSED WELL

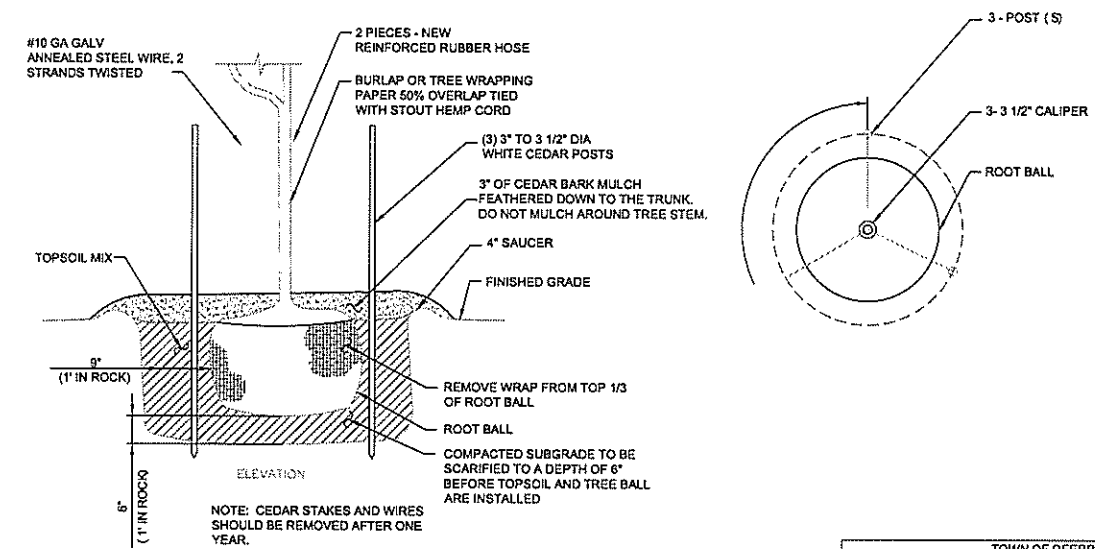
**PLANTING NOTES**

1. FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE OWNER.
2. ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" MIN. DECORATIVE LANDSCAPE STONE OR MULCH.
3. TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. CONTRACTOR TO FIELD VERIFY ALL AREAS OF SEED.
4. TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 3/4" OR ANY UNDESIRABLE MATERIAL. 4% ORGANIC MATTER - PH 5.0 TO 6.5.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAWN THROUGH THE SECOND CUTTING. WATER ALL LAWNS AND PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER.
6. ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK AND SHALL BE INSPECTED UPON DELIVERY TO SITE PRIOR TO PLANTING.
7. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT FOR THE TOWN.
8. LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH CONDITIONS IN THE AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.

NAME OF GRASS	PROPORTION BY WT.	MIN. GERM.	MIN. PURITY
PENNLAWN FESCUE	60%	85%	95%
FYKING BLUEGRASS	30%	85%	90%
PERENNIAL RYEGRASS	10%	95%	95%

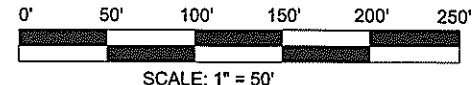
**PLANTING LIST**

SYM.	QTY.	SIZE	SPACING	HARDINESS ZONE	BOTANICAL NAME	COMMON NAME
⊙	3	2.5" CAL.	35'	4-9	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE
⊙	24	3'-4'	3'-4'	2-7	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE



**TREE PLANTING DETAIL**

SCALE: NONE



SCALE: 1" = 50'

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UNLAWFUL AND ALTERATION OR ADDITION TO A PLAN IS ACCORDING TO THE SEAL OF A REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT AS A VIOLATION OF SECTION 200 SUBSECTION 2 OF THE NEW YORK STATE LEGISLATION LAW.

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*John D. Fuller*

JOHN D. FULLER  
REG. NO. 077703

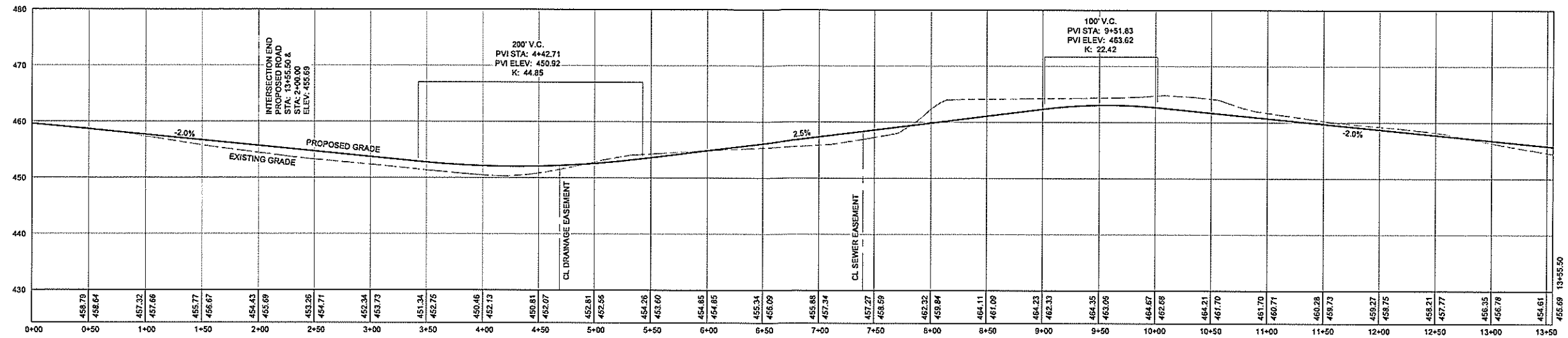
TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1538

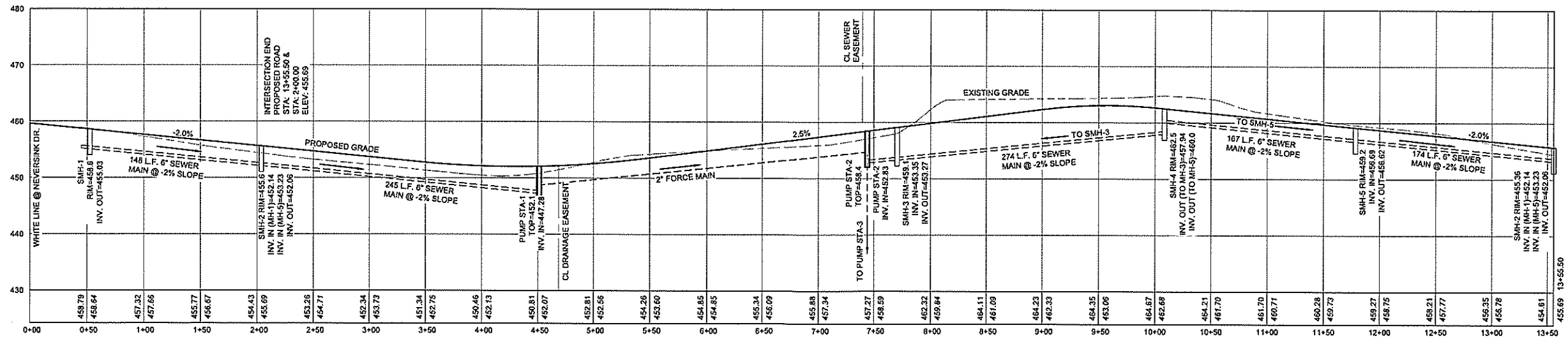
RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: **LANDSCAPING PLAN** DWG NO.: **9 OF 14**

SCALE: AS NOTED JOB NO.: 2177.030



**ROADWAY PROFILE**  
 SCALE: HORZ: 1" = 50'  
 VERT: 1" = 10'



**SEWER PROFILE**  
 SCALE: HORZ: 1" = 50'  
 VERT: 1" = 10'

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REVISIONS				
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*John D. Fuller*

JOHN D. FULLER  
 REG. NO. 077703

TOWN OF DEERPARK  
 PLANNING BOARD APPROVAL

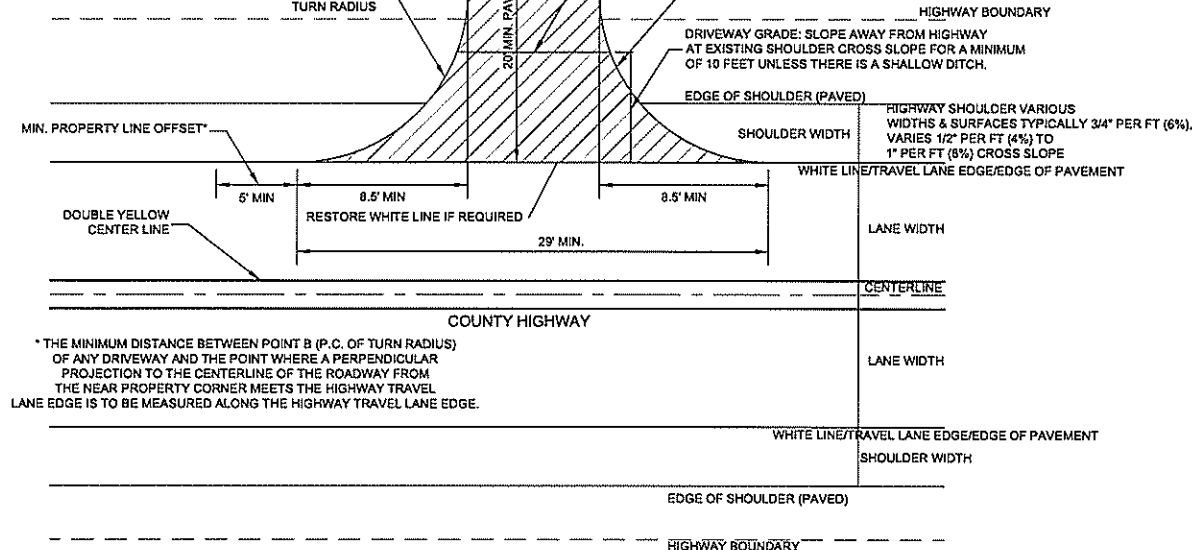
JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
 PORT JERVIS, NY 12771  
 (649) 856-1538

RIVENDALE SUBDIVISION  
 515 NEVERSINK DRIVE  
 SECTION 50 BLOCK 1 LOT 38.22  
 TOWN OF DEERPARK  
 ORANGE COUNTY, N.Y.

DWG TITLE: ROADWAY & SEWER PROFILES 10 OF 14  
 SCALE: AS NOTED  
 JOB NO.: 2177.030

**NOTES**

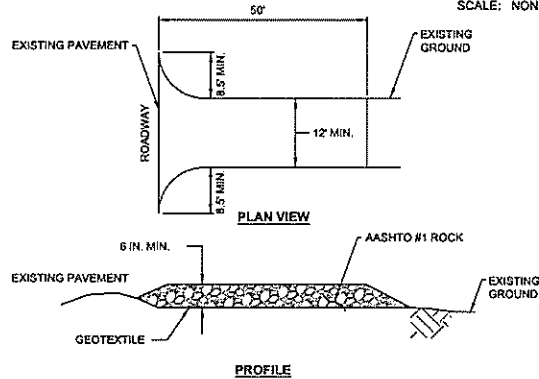
1. ALL DRIVEWAYS SHALL PROVIDE INTERNAL TURN-AROUNDS.
2. ANY DRIVEWAY OVER 200' IN LENGTH SHALL BE CONSTRUCTED SO THAT NO SURFACE OR DRIVEWAY SURFACE WATER RUNS DOWN THE DRIVEWAY.
3. THE DRIVEWAY ENTRANCES SHALL BE PAVED FOR A MINIMUM OF 20 FEET IN LENGTH.
4. CULVERT REQUIREMENTS ARE 15" IN DIAMETER HDPE WITH FLARED END SECTIONS, MINIMUM OF 5 FEET FROM EDGE OF ROAD PAVEMENT.
5. ALL CUT MATERIAL SHALL BE TAKEN AWAY FROM THE DRIVEWAY LOCATION TO AVOID SEDIMENTATION OF THE NEW CONSTRUCTION.
6. ANY FILL SECTIONS SHALL BE COMPACTED TO A 70% PROCTOR.



**TYPICAL RESIDENTIAL DRIVEWAY DETAIL**

SCALE: NONE

1  
11 OF 14



**CONSTRUCTION STABILIZATION ENTRANCE**

SCALE: NONE

2  
11 OF 14

**CONSTRUCTION SPECIFICATIONS**

1. GRADE ENTRANCE BY REMOVING SOD DOWN TO FIRM SUBGRADE.
2. PLACE FILTER CLOTH OVER THE ENTRANCE SUBGRADE. MINIMUM WIDTH = 12 FEET. MINIMUM LENGTH = 50 FEET.
3. CONSTRUCT AGGREGATE PAD WITH POSITIVE DRAINAGE A MINIMUM OF 6 INCHES THICK USING 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
4. SURFACE WATER FLOWING TO THE ENTRANCE MUST BE PIPED UNDER THE ENTRANCE OR CONTROLLED BY A MOUNTABLE BERM TO DIRECT FLOW AWAY FROM THE ROADWAY. THE BERM SHALL HAVE SLOPES NO GREATER THAN 5:1.
5. IF REQUIRED, WASH STATIONS WILL BE CONSTRUCTED IN THE SAME MANNER WITH DRAINAGE PROVIDED TO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A MANNER THAT WILL PREVENT TRACKING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS OR STREETS.
7. INSPECT ALL ENTRANCES AFTER A RAIN.
8. PERIODICALLY TOP DRESSING WITH ADDITIONAL AGGREGATE MAY BE REQUIRED.
9. ALL SEDIMENT AND AGGREGATE SPILLED, DROPPED, OR WASHED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
10. ALL SEDIMENT MUST BE PREVENTED BEFORE ENTERING STORM DRAINS, DITCHES, OR WATER COURSES.

**O.C. DPW NOTES**

1. NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.
2. AS A CONDITION OF THIS PERMIT, THE APPLICANT AGREES THAT THE PROPOSED RESIDENTIAL DEVELOPMENT OF THE REAL PROPERTY TO WHICH ACCESS IS BEING PROVIDED SHALL BE IN ACCORDANCE WITH THE PLAN APPROVED HERE WITH AND NO FURTHER SUBDIVISION OF SUCH PROPERTY SHALL BE PLANNED OR DESIGNED WITHOUT THE APPROVAL OF THE COUNTY DPW, AND NO CONDITION SHALL HEREAFTER BE CREATED WHICH WOULD NECESSITATE ADDITIONAL ACCESS TO OR FROM THE COUNTY ROAD.
3. **MAINTENANCE RESPONSIBILITY**  
THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF DITCHES, PIPES, CATCH BASINS, GRATES, DETENTION PONDS AND OTHER DRAINAGE STRUCTURES CONSTRUCTED IN CONNECTION WITH PROVIDING ACCESS TO HIS PROPERTY. THE PROPERTY OWNER SHALL ALSO TRIM BRUSH AND MAINTAIN HIS PROPERTY IN SUCH A MANNER AS TO MAINTAIN OPTIMAL SIGHT DISTANCE.

**SPECIAL NOTES**

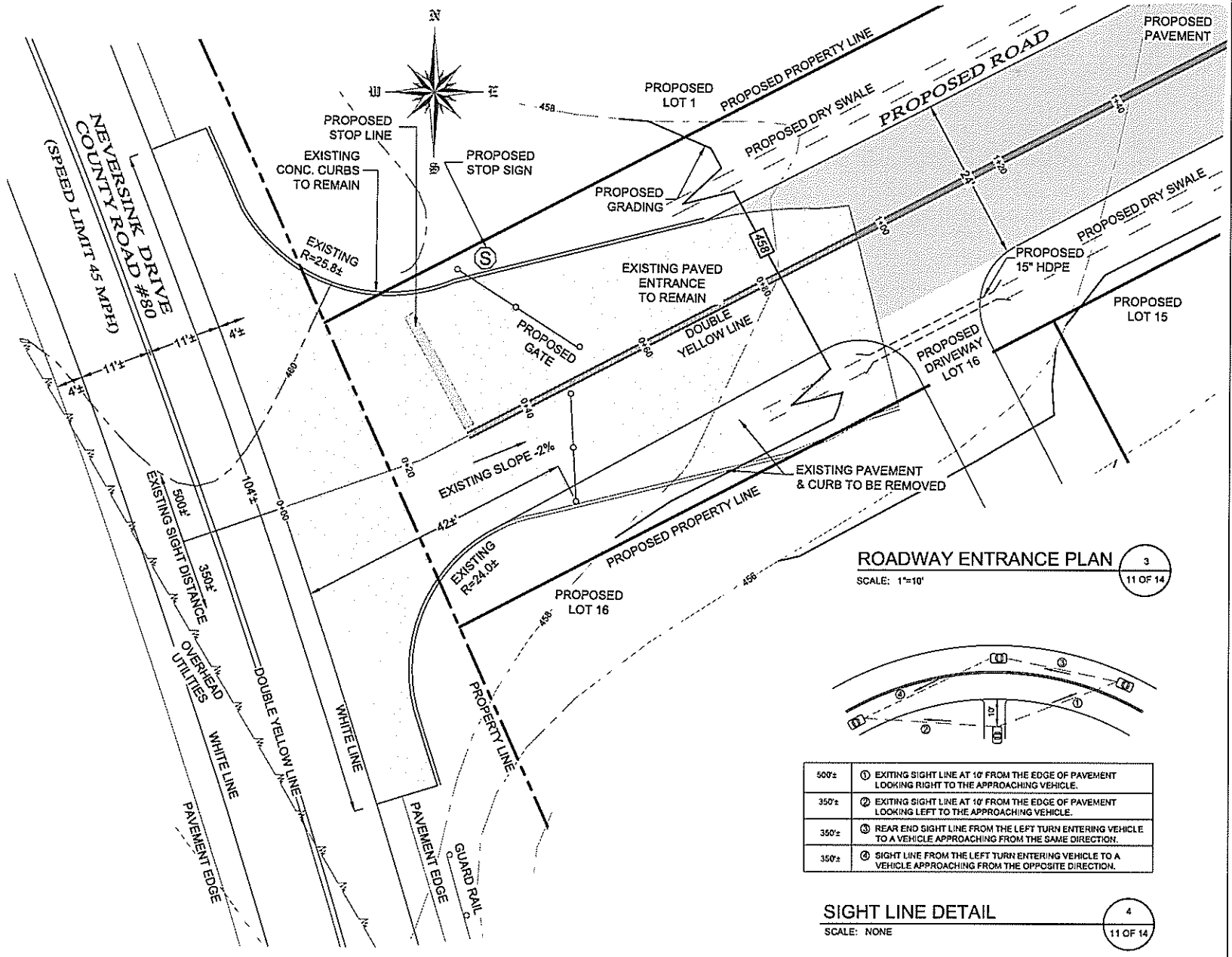
- a. A CONSTRUCTION STABILIZATION ENTRANCE SHALL BE CONSTRUCTED.
- b. WHERE CONSTRUCTION OF A ROADWAY NECESSITATES CROSSING A HIGHWAY DITCH, A CULVERT PIPE OF ADEQUATE CAPACITY, AND NO SMALLER THAN 15" IN DIAMETER WITH FLARED END SECTIONS, SHALL BE INSTALLED IN THE DITCH BY THE PERMITTEE AND THE LOW POINT OF THE ROADWAY PROFILE SHALL BE AT OR CLOSE TO THE CENTERLINE OF THE PIPE. ALL DRAINAGE SHALL BE MAINTAINED BY GRADING DITCH LINES AS NEEDED.
- c. ALL ROADWAYS SHALL HAVE A PAVED SURFACE EXTENDING 20 FEET FROM THE EDGE OF THE TRAVEL LANE (USUALLY MARKED BY WHITE EDGE LINE) OR TO THE HIGHWAY RIGHT-OF-WAY LINE, WHICHEVER RESULTS IN THE GREATER LENGTH OF PAVEMENT. WHERE THE HIGHWAY RIGHT-OF-WAY LINE IS CLOSER THAN 20 FEET TO THE EDGE OF THE TRAVEL LANE, THE PAVED SURFACE SHALL EXTEND AT LEAST 20 FEET BACK FROM THE EDGE OF TRAVEL LANE.
- d. IF AN ASPHALT CONCRETE OR CEMENT CONCRETE ROADWAY IS TO BE CONSTRUCTED ADJACENT TO A HIGHWAY SHOULDER PAVED OR STABILIZED WITH A BITUMINOUS MATERIAL IN SATISFACTORY CONDITION, IT IS NOT NECESSARY TO REMOVE EXISTING SHOULDER MATERIAL. THE EDGE OF THE SHOULDER SHALL BE SQUARED OFF AND THE ROADWAY PAVED UP TO THE BITUMINOUS SURFACE. THE BITUMINOUS SHOULDER WILL THEN CONSTITUTE ALL OR A PORTION OF THE REQUIRED 20 FOOT PAVED SURFACE.
- e. MAINTAIN A GRADE OF -0.25% (3/4" FOOT) FOR A MINIMUM DISTANCE OF 10 FEET FROM THE WHITE EDGE LINE IN A NORMAL CROWN SECTION. MATCH THE EXISTING SHOULDER'S CROSS SLOPE IN A HORIZONTAL CURVE SECTION. GRADE CHANGES SHOULD BE CONNECTED BY VERTICAL CURVES AT LEAST TWENTY FEET LONG TO CONNECT THE TANGENTS.
- f. THE ASPHALT PAVEMENT SHALL BE BACKED UP WITH A SUITABLE MATERIAL.
- g. ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH.

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

NOT FOR ORANGE COUNTY DEPARTMENT OF HEALTH REVIEW AND APPROVAL

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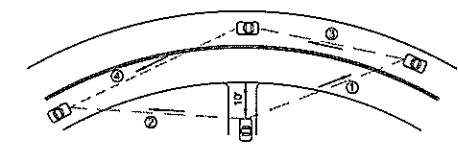
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**ROADWAY ENTRANCE PLAN**

SCALE: 1"=10'

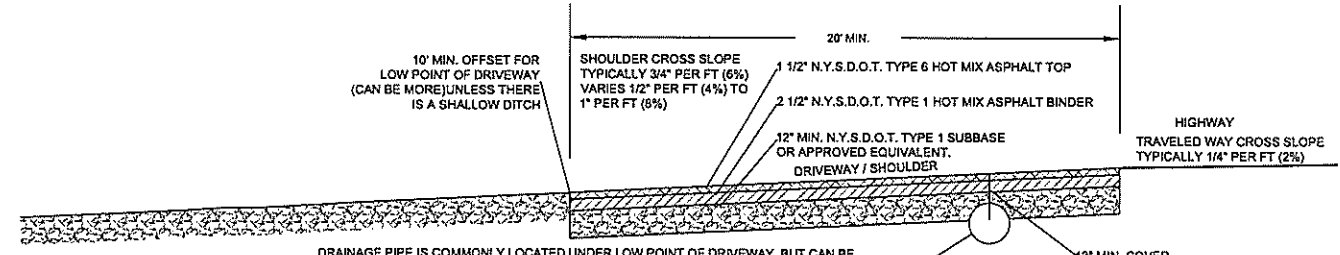
3  
11 OF 14



**SIGHT LINE DETAIL**

SCALE: NONE

4  
11 OF 14



**DRIVEWAY PAVEMENT DETAIL**

SCALE: NONE

5  
11 OF 14

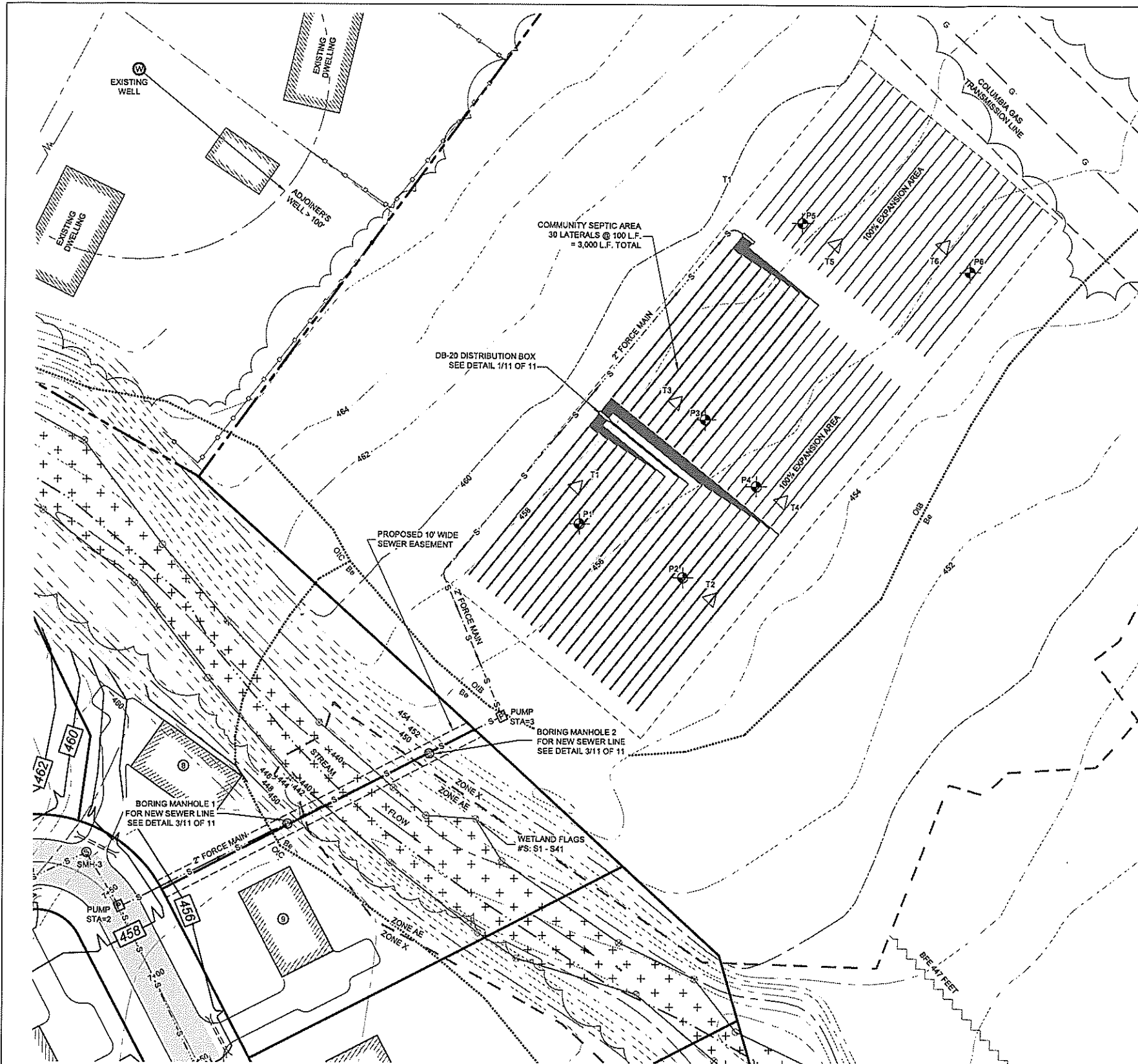
TOWN OF DEERPARK PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 858-1536  
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515 NEVERINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
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REVISIONS				
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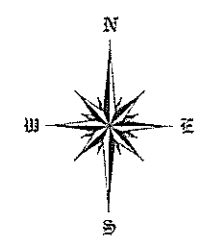
*John D. Fuller*  
JOHN D. FULLER  
REG. NO. 077703

DWG TITLE: ROADWAY PLAN & DETAILS  
SCALE: AS NOTED  
JOB NO.: 2177.030  
11 OF 14



**SEPTIC PLAN**  
SCALE: 1"=30'

1  
12 OF 14



**SANITARY NOTES**

1. NO SWIMMING POOLS, DRIVEWAYS, OR OTHER STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
2. SEPTIC TANKS TO BE REINFORCED CONCRETE. SEE SANITARY REQ. CHART FOR CAPACITY.
3. MIN. DISTANCE BUILDING TO ABSORPTION FIELD IS 20'.
4. PIPE FROM BUILDING TO SEPTIC TANK TO BE STRAIGHT. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
5. SEPTIC TANK INLETS TO BE OPPOSITE OUTLETS.
6. NO CELLAR, FOOTING OR ROOF DRAINS SHALL DISCHARGE INTO SEPTIC TANKS OR DRAIN FIELDS.
7. WELL MUST BE AT LEAST 100 FT. AWAY FROM LOWER TILE FIELD, AND 200 FT. AWAY FROM HIGHER TILE FIELD IN THE DIRECT LINE OF DRAINAGE.
8. WHEN WELLS ARE WITHIN 25' OF THE FOOTING DRAIN, THE DISCHARGE PIPE SHOULD BE WATERTIGHT.
9. VERIFICATION OF SUITABLE TRENCH BOTTOM SOIL CONDITIONS TO BE MADE BY A LICENSED PROFESSIONAL ENGINEER.
10. THE SEWER DISPOSAL SYSTEM SHALL BE DESIGNED, LOCATED AND CONSTRUCTED TO ALLOW FOR A 50% EXPANSION CAPABILITY FOR FUTURE USE.
11. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
12. HEAVY EQUIPMENT SHALL BE KEPT OFF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
13. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REAPPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT.
14. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT, AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. A COPY OF THE NYSDEC WELL COMPLETION REPORT MUST ALSO BE PROVIDED.

PUMP STATIONS SHALL BE EQUIPPED WITH STANDBY GENERATORS AND ALARM SYSTEMS.

**DEEP PIT TEST RESULTS**

T1 - 12/13/19	T2 - 12/13/19	T3 - 12/13/19	T4 - 12/13/19	T5 - 12/13/19	T6 - 12/13/19
0 - 3" 3 - 72"	0 - 3" 3 - 60" 60 - 72"	0 - 3" 3 - 72"	0 - 3" 3 - 48" 48 - 72"	0 - 3" 3 - 56" 56 - 72"	0 - 3" 3 - 72"
TOPSOIL SANDY GRAVELLY LOAM W/ STONE	TOPSOIL SANDY GRAVELLY LOAM GRAVEL & STONE	TOPSOIL SANDY GRAVELLY LOAM W/ STONE	TOPSOIL GRAVELLY LOAM W/ STONE SANDY GRAVEL & STONE	TOPSOIL GRAVELLY LOAM SANDY GRAVEL & STONE	TOPSOIL SANDY GRAVELLY LOAM W/ STONE
NO WATER NO BEDROCK NO MOTTLING	NO WATER NO BEDROCK NO MOTTLING	NO WATER NO BEDROCK NO MOTTLING	NO WATER NO BEDROCK NO MOTTLING	NO WATER NO BEDROCK NO MOTTLING	NO WATER NO BEDROCK NO MOTTLING

**PERCOLATION TEST RESULTS**

DATE	TEST NO.	DEPTH OF HOLE (IN.)	STABILIZED RATE (MIN.)	DESIGN RATE (MIN.)
12/13/19	P1	24	1:10	1 - 5 MIN.
12/13/19	P2	24	1:01	
12/13/19	P3	24	1:25	
12/13/19	P4	24	1:24	
12/13/19	P5	24	1:09	
12/13/19	P6	24	1:46	

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

THIS PLAN CONTAINS 14 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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OWN BY	REV	DESCRIPTION	DATE	APPROVED
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DL	1	REVISED PER TOWN COMMENT	02/12/20	
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JOHN D. FULLER  
REG. NO. 077703

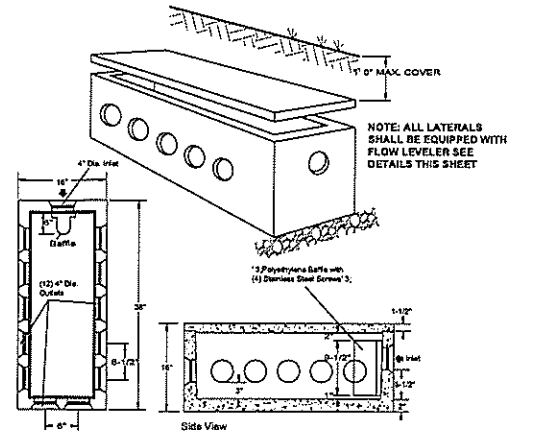
4 SOUTH STREET  
PORT JERVIS, NY 12771  
(645) 656-1538

JOHN D. FULLER, P.E., P.C.

RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

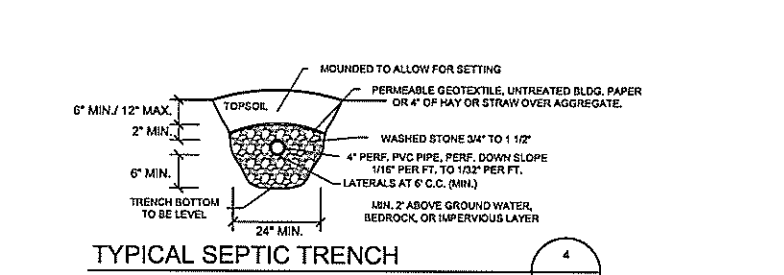
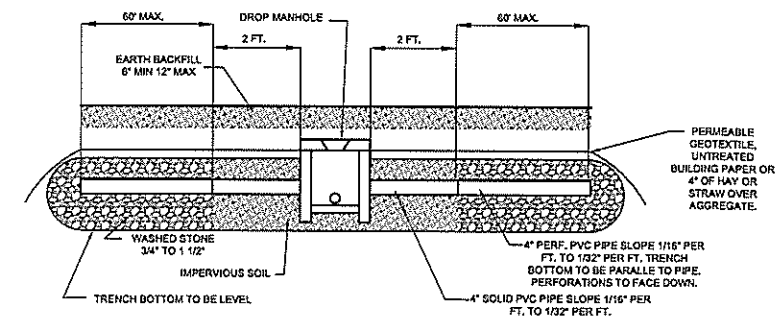
DWG TITLE: **SEPTIC PLAN**  
SCALE: AS NOTED  
JOB NO.: 2177.030  
DWG NO.: 12 OF 14



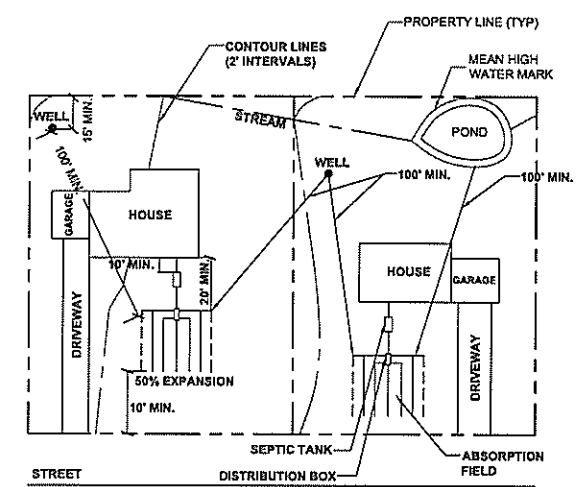


SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	REINFORCEMENT: Fiber, 10ga. wire mesh
Air Entrainment: 5%	Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal (patented)	Weight = 325 lbs
Load Rating: 300 psf	

**PRECAST DISTRIBUTION BOX DETAIL**  
SCALE: N.T.S.



**TYPICAL SEPTIC TRENCH**  
SCALE: N.T.S.



**TYPICAL LOT DIMENSIONS**  
SCALE: N.T.S.

**MINIMUM SEPARATION DISTANCE (FEET) FROM**

SYSTEM COMPONENTS	WELL OR SUCTION LINE (a) (g)	TO STREAM, LAKE, OR WATERCOURSE (b)	DWELLING	PROPERTY LINE	DRAINAGE DITCH OR RAIN GARDENS (h)
HOUSE SEWER (WATERTIGHT JOINTS)	25' IF CAST IRON, 50' OTHERWISE	25'	3'	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD (c) (d)	100' (e)	100'	20'	10'	20'
SEEPAGE PIT (c)	150' (a)	100'	20'	10'	20'
RAISED OR MOUND SYSTEM (c) (d)	100' (a)	100'	20'	10'	20'
INTERMITTENT SAND FILTER (g)	100' (a) (f)	100' (f)	20'	10'	20'
NON-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50'	50'	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100'	50'	20'	10'	20'

(a) WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.

(b) MEAN HIGH WATER MARK. WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSDEC REGIONAL OFFICE.

(c) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN SECTION 9.12.2 OF THE HANDBOOK.

(d) SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA (i.e., RESERVE AREA), WHEN AVAILABLE.

(e) THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (e.g., PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL WATER SERVICE LINE).

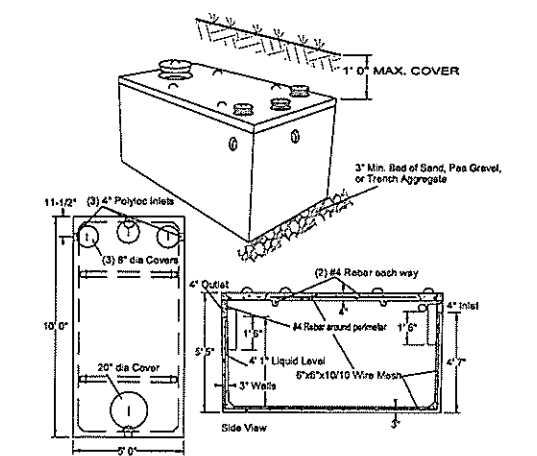
(f) WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.

(g) THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.

(h) RECOMMENDED; USE SITE EVALUATION TO AVOID OWTS SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTS FUNCTIONALITY.

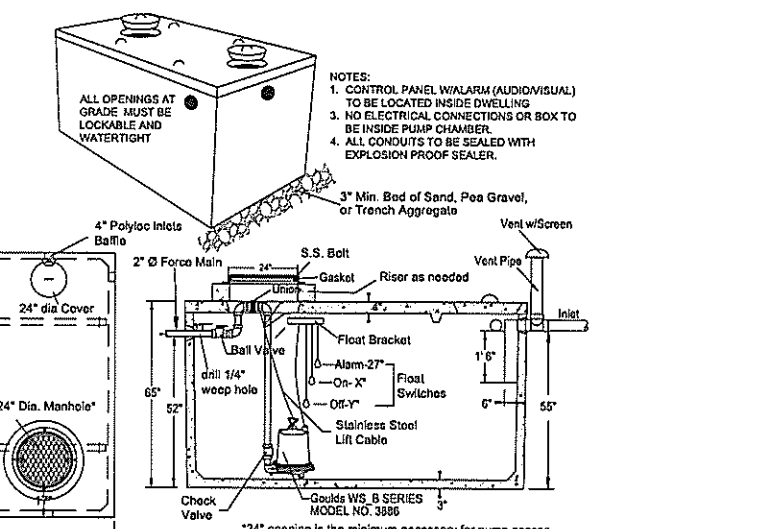
**EMBANKMENT OR VERY STEEP SLOPE:** IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 25 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 35 FEET FROM AN EMBANKMENT OR VERY STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).

**SWIMMING POOLS (ABOVE OR BELOW GROUND):** IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 20 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 35 FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON OWTS ACCESSIBILITY AND FUNCTIONALITY.



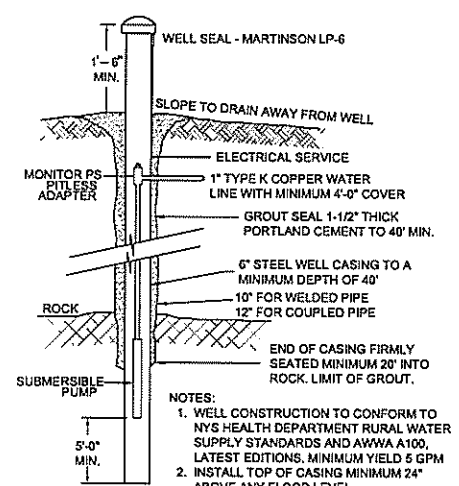
SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	REINFORCEMENT: #4 Rebar, 6x6x10ga. WWM
Air Entrainment: 5%	Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal (patented)	Weight = 9,500 lbs
Load Rating: 300 psf	

**TYPICAL CONCRETE SEPTIC TANK**  
SCALE: N.T.S.



SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	REINFORCEMENT: #3 Rebar, 6x6x10" WWM
Air Entrainment: 5%	Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal (patented)	Weight = varies
Load Rating: 300 psf	

**PUMP CHAMBER DETAILS**  
SCALE: N.T.S.



**TYPICAL 6" WELL**  
SCALE: N.T.S.

**SEPTIC CALCULATIONS:**

DESIGN FLOW = 6,600 GPD  
APPLICATION RATE: 1.2 GPD / S.F. (PERC. RATE 1-1.5 MIN.)  
6,600 / 1.2 / 2 = 2,750 FEET REQUIRED  
PROVIDED: 30 LATERALS @ 100 L.F. = 3,000 L.F. (100% EXPANSION AREA)

**WATER SAVING FIXTURES NOTES**

- THE USE OF POST 1991 WATER SAVING FIXTURES ARE REQUIRED IN THE DWELLING.
- POST 1991 WATER SAVING FIXTURES SHALL BE AS DEFINED IN "INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEM DESIGN HANDBOOK", NEW YORK STATE DEPARTMENT OF HEALTH, 1996 ED., TABLE 1-DESIGN FLOWS FOR VARIOUS HOUSEHOLD PLUMBING.
- WATER SAVING PLUMBING FIXTURES SHALL BE DEFINED AS FOLLOWS:  
A) 1.6 GAL PER FLUSH WATER CLOSETS.  
B) 3.0 GPM MAX. FAUCETS / SHOWERHEADS.

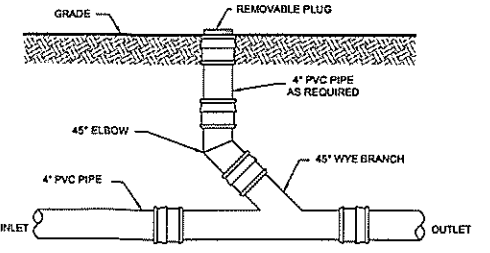
**MINIMUM SEPTIC TANK CAPACITIES**

NUMBER OF BEDROOMS	MINIMUM TANK CAPACITY (GALLONS)	MINIMUM LIQUID SURFACE AREA (SQ.FT.)
1, 2, OR 3	1,000	27
4	1,250	34
5	1,500	40
6	1,750	47

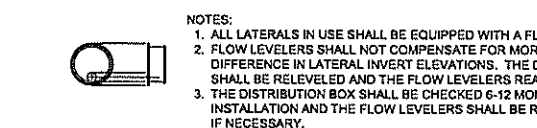
NOTE: TANK SIZE REQUIREMENTS FOR MORE THAN SIX BEDROOMS SHALL BE CALCULATED BY ADDING 250 GALLONS AND SEVEN SQUARE FEET OF SURFACE AREA FOR EACH ADDITIONAL BEDROOM. A GARBAGE GRINDER SHALL BE CONSIDERED EQUIVALENT TO AN ADDITIONAL BEDROOM FOR DETERMINING TANK SIZE. A HOT TUB/SPA SHOULD BE CONSIDERED EQUIVALENT TO AN ADDITIONAL BEDROOM FOR DETERMINING TANK SIZE.

**WATER SYSTEM NOTES**

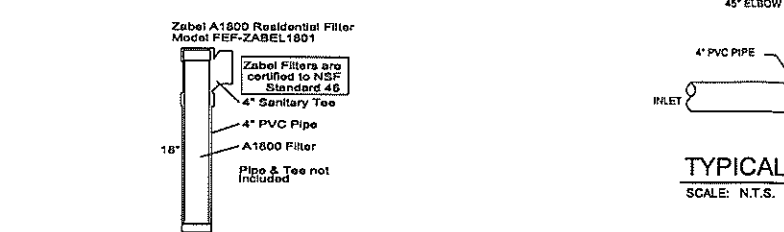
- WELL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS SET FORTH BY THE N.Y.S. DEPARTMENT OF HEALTH FOR RURAL WATER SUPPLY.
- SOFTENING OF HARD WATER SHOULD BE CONSIDERED ONLY IF EXCESSIVE HARDNESS IS FOUND. (GREATER THAN 150 MGA).
- THE LOCATION OF WELLS AND SEPTIC FIELDS SHALL NOT BE CHANGED.
- FOOTING DRAINS WITHIN 25 FEET OF A WELL SHALL BE WATERTIGHT.
- WELLS MUST BE INSTALLED AT LEAST 100 FEET FROM ALL SEPTIC SYSTEMS AND 200 FEET FROM ANY SEPTIC SYSTEM WHICH IS UPHILL FROM THE WELL.
- WELL CASING IS TO BE INSTALLED 20 FEET INTO IMPERVIOUS BEDROCK.



**TYPICAL CLEANOUT DETAIL**  
SCALE: N.T.S.



**FLOW LEVELER**  
SCALE: N.T.S.



SPECIFICATIONS	
Construction: PVC Plastic	SEPTIC TANK OUTLET FILTERS ZABEL & POLYLOK BRANDS
Capacity: Zabel A1800 = 800 gpd	
Zabel A100 = 3000 gpd	
Polylok PL-122 = 800 gpd / unit (can be connected in series)	

**TYPICAL EFFLUENT FILTER FOR SEPTIC TANK**  
SCALE: N.T.S.

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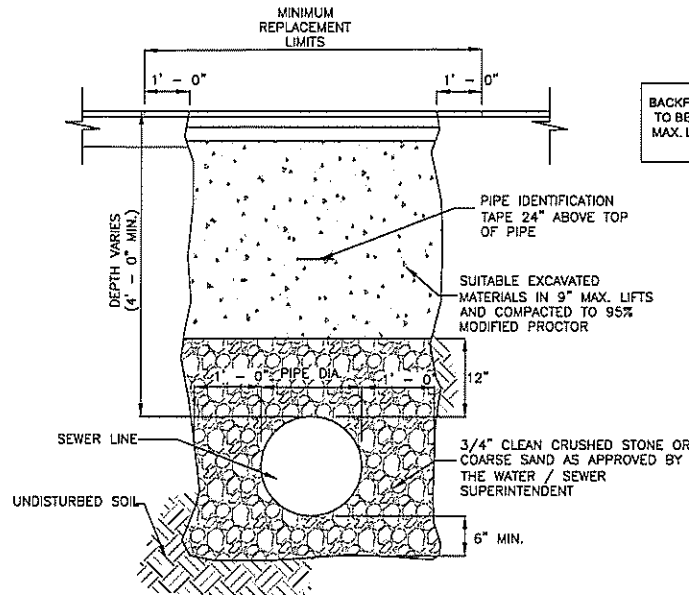
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4 SOUTH STREET  
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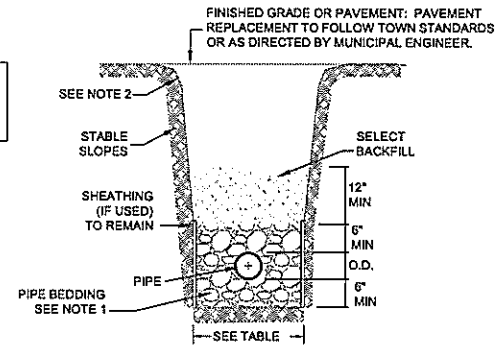
RIVENDALE SUBDIVISION  
515 NEVERSINK DRIVE  
SECTION 50 BLOCK 1 LOT 38.22  
TOWN OF DEERPARK  
ORANGE COUNTY, N.Y.

DWG TITLE: **SEPTIC DETAILS**  
SCALE: AS NOTED  
JOB NO.: 2177.030  
DWG NO.: 13 OF 14



**TYPICAL SEWER LINE  
INSTALLATION RESTORATION DETAIL**  
SCALE: N.T.S.

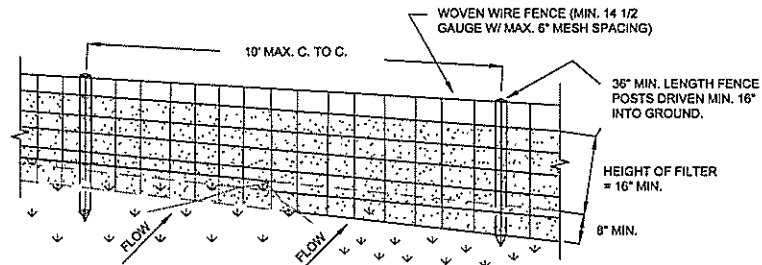
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14 OF 14



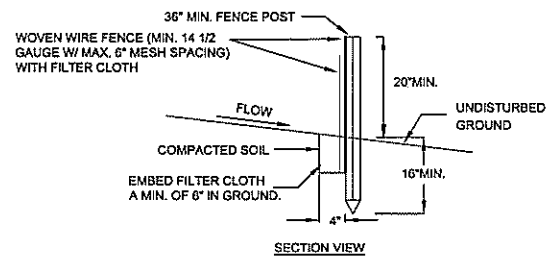
**TRENCH DETAIL**  
SCALE: N.T.S. (SANITARY & STORM) 3  
14 OF 14

**NOTES:**

- PIPE BEDDING SHALL BE CRUSHED STONE OR WASHED GRAVEL PASSING A 1/2 INCH SIEVE AND RETAINED ON A 1/2 INCH SIEVE.
- SELECT BACKFILL SHALL BE FINE EARTH, FREE FROM CINDERS, STONES, DEBRIS AND FROZED EARTH. REMAINING BACKFILL SHALL BE FREE FROM LARGE CLODS ROCKS, AND CINDERS.
- PLACE PIPE BEDDING BY HAND HAND COMPACT UNDER AND AROUND PIPE CENTERLINE. PLACE BACKFILL IN 6" LAYERS ABOVE PIPE CENTERLINE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL PHASES OF CONSTRUCTION ARE IN FULL COMPLIANCE WITH LOCAL SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO, UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND NEW YORK STATE DEPARTMENT OF LABOR FOR OSHA SECTION 1910.146 PERMIT REQUIRED CONFINED SPACE ENTRY, OSHA SECTION 1926.650 EXCAVATION GENERAL PROTECTION REQUIREMENTS AND OSHA SECTION 1926.651 TRENCHING AND SHORING, STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES.
- ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MANHOLE TO MANHOLE.
- FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL, AS DETERMINED BY THE PROJECT SITE ENGINEER, IN 12" (MAX.) LAYERS COMPACTED TO 95% OF THE MAXIMUM DENSITY OF THE SOIL AS DETERMINED BY THE STANDARD PROCTOR TEST (AASHTO DESIGNATION T-99) TO 2'-0" (MIN.) ABOVE TOP OF PIPE AT A MIN. WIDTH OF O.D. +4" BEFORE TRENCH EXCAVATING.
- WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MUST BE MADE 12" IN.
- WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL (AS APPROVED)



**PERSPECTIVE VIEW**



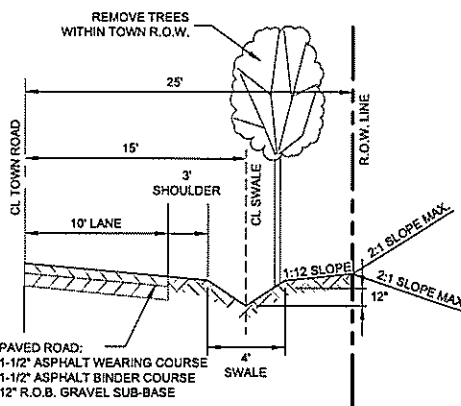
**SECTION VIEW**

**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

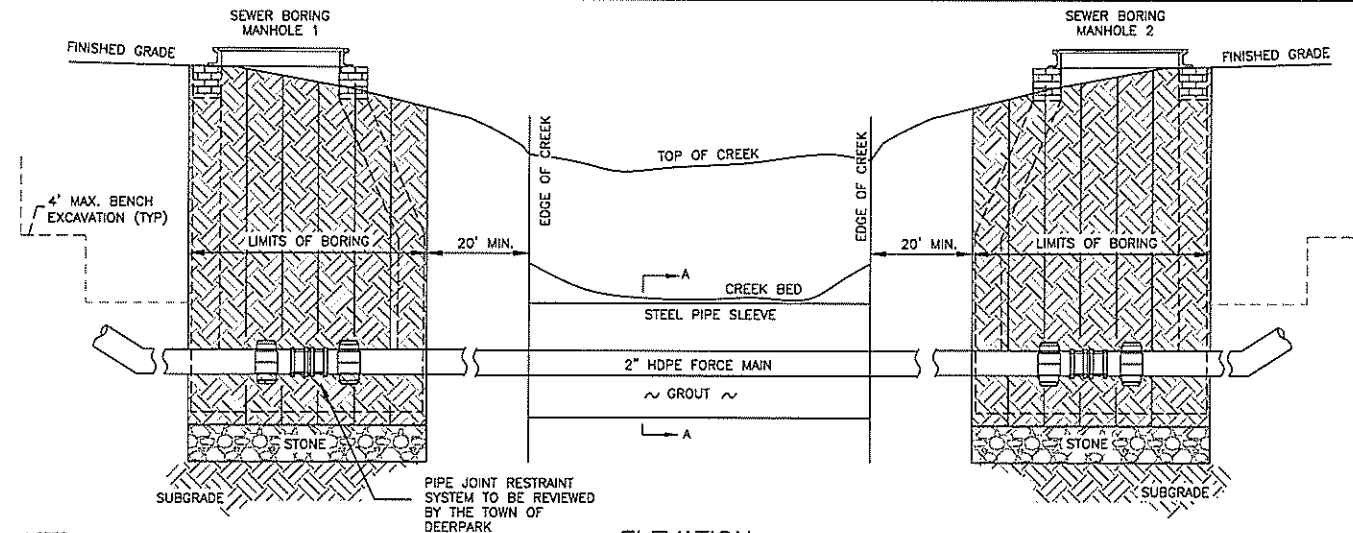
**SILT FENCE DETAIL**  
SCALE: NTS

2  
14 OF 14

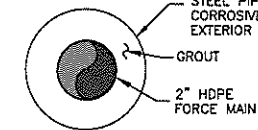


**RURAL STREET DETAIL**  
SCALE: NTS

5  
14 OF 14



**ELEVATION**

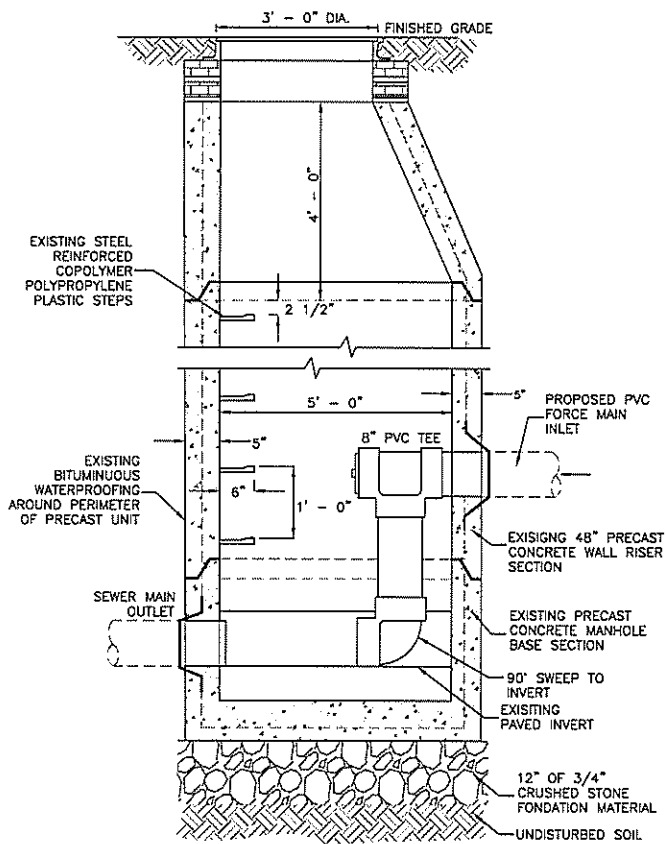


**BORING DETAIL**  
SCALE: N.T.S.

4  
14 OF 14

**NOTES:**

- THE PIPE SLEEVE SHALL BE JACKED WITH JACKS OF SUFFICIENT CAPACITY TO SHOVE THE PIPE THROUGH THE EMBANKMENT INTO POSITION TRUE TO REQUIRED LINE AND GRADE
- AFTER PIPE HAS BEEN ALIGNED TO PROPER GRADE, THE ANNULAR SPACE BETWEEN THE STEEL PIPE SLEEVE AND THE PVC FORCE MAIN IS TO BE FILLED WITH SAND AND ENDS OF STEEL PIPE TO BE CAPPED.
- IF NECESSARY, SHORING DESIGN TO BE PERFORMED BY A LICENSED N.Y.S. PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN OF DEERPARK FOR REVIEW.
- ALL JOINTS WITHIN CASING PIPE TO BE RESTRAINED.



**MANHOLE DETAIL**  
SCALE: N.T.S.

6  
14 OF 14

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*John D. Fuller*  
JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

JOHN D. FULLER, P.E., P.C. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(849) 856-1536

RIVENDALE SUBDIVISION  
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ORANGE COUNTY, N.Y.

DWG TITLE: **SITE DETAILS** DWG NO.: **14 OF 14**  
SCALE: AS NOTED JOB NO.: 2177.030